



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2025/010**

LOCATION OF AFFECTED AREA

**89 HONEYWOOD DRIVE, HONEYWOOD**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**OUTBUILDING**

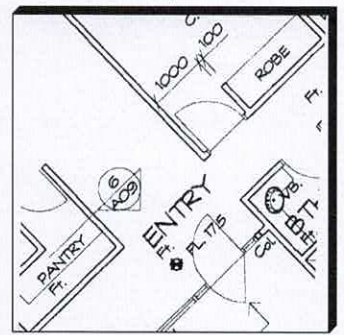
A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **11/03/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**Chief Executive Officer**



**Brighton**  
going places

Planning Department  
Brighton Council  
1 Tivoli Rd  
Old Beach 7017



Dear Sir/Madam,

Please find attached Planning Application – Proposed Garage at 89  
Honeywood Drive, Honeywood, 7017

Attached documents are:

- Planning application
- Certificate of Title documents
- Drawing A01

The property is Rural Living zoning and is surrounded by the same zoned properties. The existing buildings on site include the Existing Dwelling and the Existing Second Dwelling that is connected to a Garage.

The Proposed Garage space is for workshop and equipment storage as a Class 10a building.

The total site coverage with the proposed garage is as follows:

Existing Dwelling – 223 sq.m.

Existing Second Dwelling/Garage - 185 sq.m.

Proposed Garage - 136 sq.m.

Total site coverage area: 544 sq.m.

Response to relevant discretions:

11.4.1 A1 – Site coverage exceeds 400 sq.m.

11.4.1 P1 – The site coverage total for this project is 544 sq.m.

The surrounding properties are rural zoned and generally consist of a single dwelling and separate garage/outbuildings. A list of the surrounding properties are:

106 Honeywood Drive – 603 sq.m. house and outbuildings

95 Honeywood Drive – 437+ sq.m. house and outbuildings

11.4.1 P1

(a) – the topography of the site is matching all other properties in the area

(b) – the capacity of the site to absorb run-off – generally the site falls to a valley below which catches most of the run-off.

(c) – the size and shape are similar to other sites in the area and on the property already.

(d) – Existing houses and sheds are located in the area.

(e) – No vegetation is required to be removed.

(f) – Colorbond garages are generally located on every surrounding property.

TAS BUILDING DESIGN

m. 0408 882 283

e. [tas.buildingdesign@bigpond.com](mailto:tas.buildingdesign@bigpond.com)

a. po box 2018  
howrah 7018

residential  
commercial

11.4.2 A1.

Building height complies.

11.4.2 A2

The garage is located 20 metres from all boundaries.

11.4.2. A3

The proposed dwelling complies with A3 side setbacks. The Proposed garage rear setback complies with the A3 rear setback.

11.4.3 P3

The Proposed Garage does not provide unreasonable amenity to the adjoining properties given the distances to the existing dwellings/properties and will be set down below the existing structures.

(a) – the topography of the site is matching all other properties in the area

(b) – the size, shape and orientation is similar to other rural living zoned lots in the area.

(c) – the Proposed garage is sitting in the middle compared to various setbacks to the surrounding buildings. A list of properties can be provided – most neighbouring properties have outbuildings less than 10 metres from the boundaries.

(d) – Generally, the height bulk and form of existing and proposed buildings are similar to the Proposed Garage. A list of properties in the area can be provided.

(e) – the character of the development existing on established matches the proposed garage/development.

(f) – there is no impact to any other properties within close proximity.

11.4.2 A4

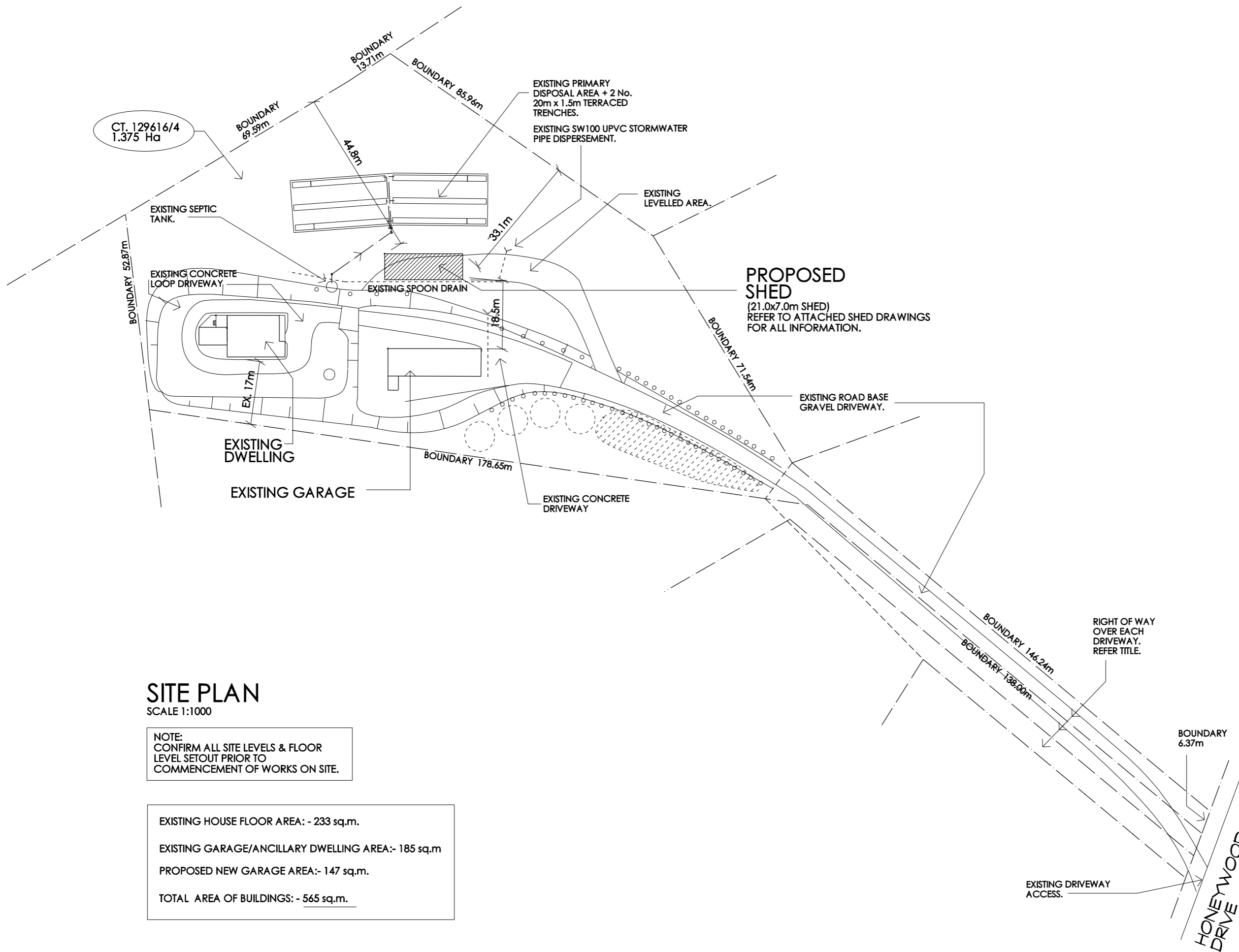
Complies.

Please forward planning fees for the owner to pay. I will await council's assessment. Thankyou.

Kind Regards,



Kevin Roberts  
TAS BUILDING DESIGN Pty. Ltd.  
Date: 24/01/2025



## SITE PLAN

SCALE 1:1000

NOTE:  
 CONFIRM ALL SITE LEVELS & FLOOR  
 LEVEL SETOUT PRIOR TO  
 COMMENCEMENT OF WORKS ON SITE.

EXISTING HOUSE FLOOR AREA:- 233 sq.m.

EXISTING GARAGE/ANCILLARY DWELLING AREA:- 185 sq.m

PROPOSED NEW GARAGE AREA:- 147 sq.m.

TOTAL AREA OF BUILDINGS:- 565 sq.m.

creative practical design solutions

**TASMANIAN BUILDING DESIGN**

Kevin J. Roberts

m. 0408 882283

a. p.o.box 2018  
howrah 7018

e. tas.buildingdesign@bigpond.com

cc 652

residential  
commercial

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 strictly prohibited.

Project and Address:

Proposed Shed at  
 89 Honeywood Drive  
 Honeywood.

Client:

Mr. H. Arnold

Drawing Title:

Site Plan

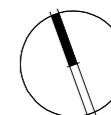
Please note: - Verify all dimensions on site. Figured  
 dimensions take precedence over scale readings.

Plot Date: 30/01/2025

Drawn: KJR

Approval: construction

Scale: 1:1000 @ A3



NORTH

Project No.:

24.11

Drawing No.:

A01

Rev.

A



1 Whitestone Drive, Austins Ferry  
Hobart, TAS 7011  
ABN: 75 009 543 506  
Email: tassiesheds@steeline.com.au



## Customers Details

Date	30-01-2025	Quote Reference #	99493609.
Customer Name	Hayden Arnold		
Mail Address	89 Honeywood Drive, Honeywood TAS 7017		
Email Address	modernplumbingandbathrooms@gmail.com		
Phone	Mobile	0400291557	

## Building Specification

Building Size	21.000 m (L) x 7.000 m (W) x 4.500 m (H)			
Roof Pitch	15 deg			
Wall Cladding	SteelClad .42bmt Colorbond	Colour	Basalt	
Roof Cladding	Corrugated .42bmt Colorbond	Colour	Basalt	
Trim & Colour Details	Barge	Basalt	Ridge Cap	Basalt
	Gutters	Basalt	Corner Trim	Basalt
	Downpipe	N/A		
Roller Doors	1x 4000H x 5000W Opening Taurean Series B Roller Door			
Access Doors	None			
Windows	None			
Other Inclusions	None			
	N/A			

## Materials

Column	C25024	Rafter	C25024
Knee Brace	C10015	Apex Brace	N/A
Roof Purlin	TH96115	Spacing	0.881 m
Side Wall Girt	TH96115	Spacing	1.075 m
End Wall Girt	TH9695	Spacing	1.000 m

## SHEDSAFE - Site Specification

<b>Site Address</b>	89 Honeywood Drive, Honeywood TAS 7017	<b>Building Class</b>	10a
<b>Wind Design Speed</b>	38.8 m/s	<b>Shielding</b>	1
<b>Wind Region</b>	A4	<b>Topography</b>	1
<b>Importance Level</b>	2		
<b>Terrain Category</b>	2.6		

Steele Sheds are ASI (Australian Steel Institute) ShedSafe® Accredited. This accreditation is the industry benchmark for Australian manufactured steel sheds and gives you peace of mind in that Steele Sheds are a provider of fully engineered prefabricated steel buildings that are all fully compliant with all relevant Australian Standards and Australian Building Codes.

## Complete Project Summary

### Project Quote (incl GST)

Kit, steel frame & doors	\$30,693.23
Standard Delivery	INCLUDED
Engineering Fee	INCLUDED

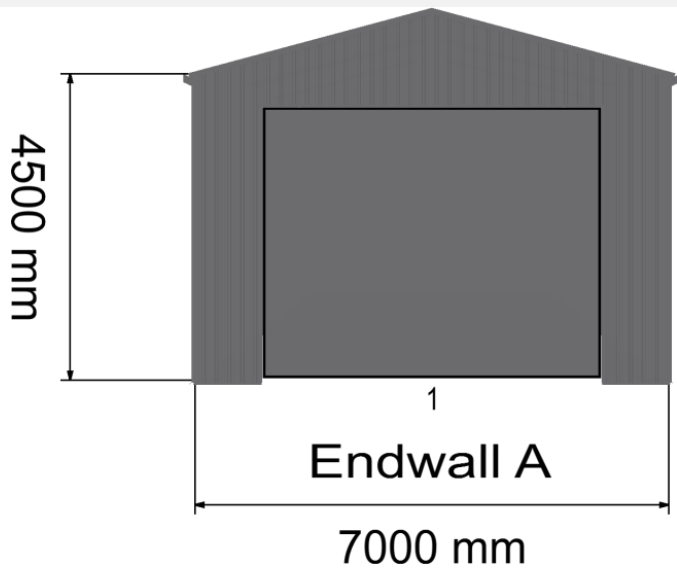
### Complete Project Summary

<b>Total Project Price (ex GST)</b>	\$27,902.94
<b>GST Value</b>	\$2,790.29
<b>Total Project (Incl. GST)</b>	\$30,693.23

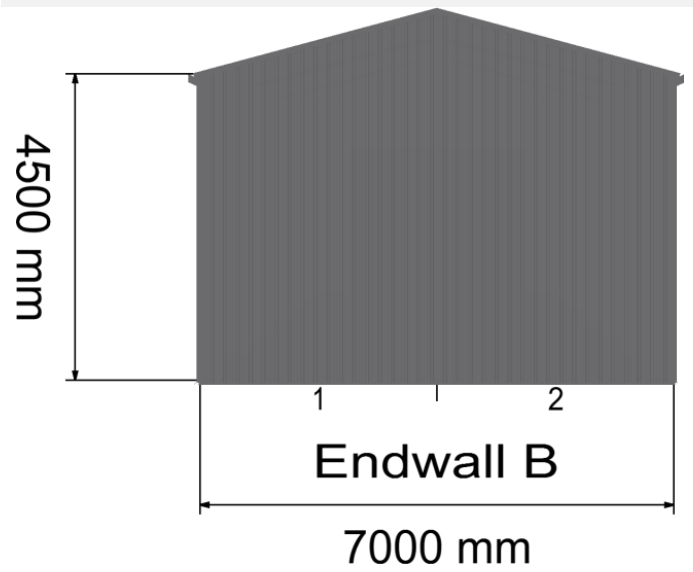
### Notes:

## Building Specification – Drawings

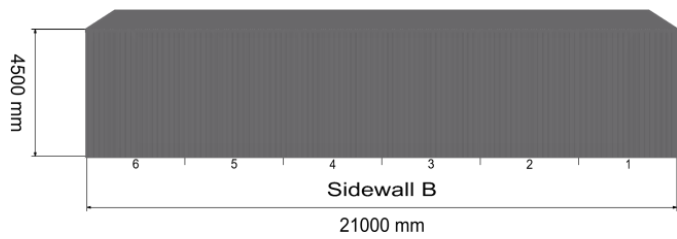
Front



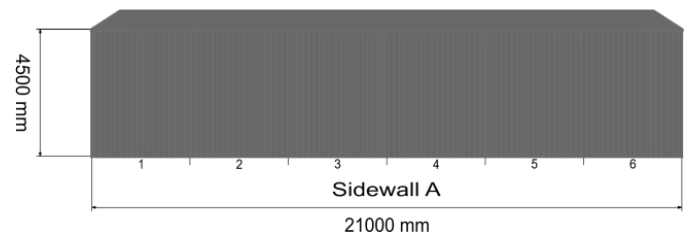
Rear

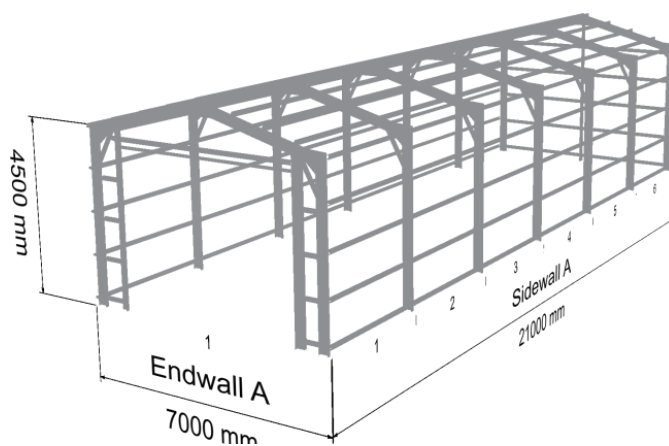


Left Side



Right Side





## ShedSafe - SiteCheck



## Kit Price and Fees Overview

<b>Supply Only</b>	\$30,693.23
<b>Delivery to Site</b>	<b>Included</b>
15% Deposit to Confirm Order & Request Engineering Documents	\$4,603.98
35% Payment to proceed with Manufacture of Kit Structure	\$10,742.63
50% Final payment before delivery	\$15,346.62

Quote will only be valid from the date of receipt and may be amended due to price increases, errors and or omissions.  
Notes: This quote is valid for thirty days (30) from date of issue.

### Quote Acceptance.

CUSTOMER'S SIGNATURE ..... (Print name here.....)

DATED .....

#### Bank Details

**Westpac Bank**

**BSB:** 037-005

**Account:** 130057

**Reference:** 99493609 Arnold

## **TERMS & CONDITIONS OF SALE**

### **PAYMENTS**

**AMOUNT:** The customer shall pay Steeline Tasmania instalment amounts (s) stated as per payment terms accompanying this agreement. Steeline Tasmania will also issue a final invoice for the balance of your order which may include any additional items added by the customer.

**GOODS:** The Supplier is not obliged to deliver any goods unless the customer has paid all amounts in full.

**LATE PAYMENT:** The Company may, if payment is not received within 7 days of the final invoice date, charge interest at 20% on the overdue amount and unless payment is made in full, the customer will be liable for all costs associated with recovery

**RECOVERY OF DEBT:** The customer must pay to Steeline Tasmania all debt collection costs, including any legal fees associated with the recovery or attempted recovery of any amount due to the Supplier under the Agreement.

**PRICE INCREASE:** The Company will hold this order valid and the price firm for a period of no more than *two calendar months* from the date of signed Agreement unless otherwise agreed in writing. Should any increases in costs be experienced prior to approval being obtained and the customer does not take delivery prior to the expiry date, the customer will pay all increases in costs.

### **DELIVERY**

**SHORTAGES:** In the case of kit purchases, the customer shall inspect the goods immediately on delivery and shall within seven (7) days of delivery give notice in writing to the company of any shortages in relation thereto. If the customer fails to give such notice, then the customer shall be deemed to have accepted the goods as being delivered in their entirety and the Agreement is finalised provided all monies under the Agreement have been paid in full.

**INSURANCES:** Once the said goods have been delivered to site, the owner of the property is then responsible for the security of the said goods and is liable for any loss or damage thereto. If the customer arranges transport, such risk to the company shall only extend up to the time of loading of the goods and delivery shall be deemed to be taken thereupon.

**DELAYED DELIVERY:** The delivery date agreed is subject to the availability of material, labour, industrial disputes and unseasonal weather conditions. The company will not be held liable for any delays caused by incalculable issues.

**SITE ACCESS:** The customer will at his expense provide, or cause to be provided full and clear truck access to the delivery site. If this is not provided, delivery will be made on the front lawn or nature strip.

### **BUILDING APPROVAL**

**OBTAINING FINAL INSPECTION IS THE SOLE RESPONSIBILITY OF THE CUSTOMER:** This will need to be arranged when the customer has the stormwater connected in accordance with council requirements. Time limitations will apply: ideally final inspection should be carried out within 2 months from completion. Any costs associated with approvals over those stated on this Agreement are to be paid for by the customer including any late or re-inspection fees.

**THE CUSTOMER CAN NOT PROCEED WITH ANY WORKS WITHOUT PERMISSION:** The customer must not carry out any works pertinent to this Agreement until all approvals have been received from the relevant approval authorities and any conditions of signed Agreement have been agreed to and met by the customer. If the customer has obtained their own authority approvals, It is up to the customer to advise Steeline Tasmania of these approvals and provide a copy of the approvals. The company will take no responsibility for any premature action by the customer.

### **ERECTION**

**DOWNPIPES:** Downpipes are only supplied if stated or listed in the quotation/Order. If supplied it is the responsibility of the Customer or accredited drainage Plumber to install the downpipe.

**WORKMANSHIP:** The Company will ensure that the work performed shall meet Acceptable building standards, All work will be performed with tradesman like manner. It is the customers responsibility to provide a clear accessible site for construction.

### **WARRANTIES**

**THIRD PARTIES WARRANTIES:** Where the term 'structure' is referred to herein it means, the steel structure only and does not include sheeting, trims, doors, windows, or rainwater goods. The warranties for these components are provided by the relevant manufactures and are varied and limited. WARNING: Severe coastal conditions will reduce the life of all components by corrosion and will be excluded from all warranties.

**MAINTENANCE:** The customer must keep all garden beds, soils or acidic material away from metal cladding and components of the building or corrosion may occur which will reduce the life of the products and void all manufacturer's warranties.

**DEFECTS LIABILITY PERIOD:** The Company agrees for a period of twelve months from the date of signed Agreement to rectify any faults or damage caused by materials or workmanship in the manufacture of the structure. The company will not be responsible for any faults or damage caused by negligence of the customer, his servants, or agents or by the customer performing any work or having performed any work on the structure.

### **GENERAL**

**EXTENSION OF CONSTRUCTION TIME:** If the progress of work is delayed as a result of any variations to the Agreement, any industrial action or civil commotion affecting the Agreement, unavailability of material necessary to the execution of the Agreement, any delays brought about in obtaining the relevant authorized approvals exceeding 14 days from the date of this Agreement, any delays brought about by the owner or any other cause beyond the reasonable control of the company, then the company may, within a reasonable time, claim an extension in the number of calendar days equal to the period of delay.

**MARKETING:** the customer hereby grants the company and any person authorized by the company permission to film or photograph the building and without restraint allow its use for any promotional purposes without any recall to the company whether legal or monetary.

**TERMINATION:** should the customer or the company wish to terminate the Agreement after signing same, they must give written instructions providing 7 days' notice and they must state the grounds on which termination is sought. It is at the company's sole discretion to accept or reject the termination. Regardless, the customer will be obliged to pay all the costs expended to the date on the Agreement plus the profit margin that the company would have made on the Agreement, which could exceed the money paid on the Agreement to that date.

**ADDITIONAL CHARGES FOR MOST COMMON ISSUES**

**CUSTOM SLAB DESIGN:** If required the foundation data must be obtained before entering into this contract. Alternatively, all concrete floors will be designed to suit "class 10 buildings" and up to Class M soil and will assume founding into natural ground. If Steeline Tasmania is to obtain the foundation data, this must be requested in writing and all costs associated with the soil report and associated slab design be paid in addition to the standard slab design. A copy must be given to the customer upon payment of the costs incurred in obtaining the data. Similarly, if there is any fill on the site, deeper and or extra piers may be required at a cost to the owner.

**HARD DIGGINGS:** If when excavating the site the company discovers that if required the hire of machinery or extra labour such as Jack hammering, Rock breaking, etc. the customer will pay these extra costs in addition to the Agreement price.

**HIDDEN OBSTRUCTIONS:** If during construction, services are damaged requiring repair such as telecommunications, electrical, storm water, etc. the customer will pay the costs associated with the repair in addition to the Agreement price. It is the customer's responsibility to advise the company of the existence of any such obstructions and to arrange (and pay any associated costs) for the relocation of same as required.

**SITE PREPARATIONS:** If the site is to be levelled by the customer and site is not level within 50mm the costs associated with providing a level building platform including the supply and placement of fill and construction of concrete piers will be paid as extra variation to the Agreement price.

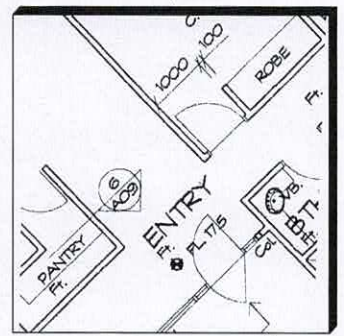
**APPROVAL OR ASSET PROTECTION FEES:** If approval or asset protection for the building can only be obtained with amendments or additional information, thus incurring additional costs as required by the local council or certifier, the customer will pay all the extra costs associated above the fees included in the original Agreement price.

**SITE CLEAN UP (OWNER'S RESPONSIBILITY):** If the customer requires the company to remove the packaging or left over materials and any soil/rubbish associated with the works, from the site, unless noted otherwise in the Agreement the customer will pay these costs including labour and dump fees in addition to the Agreement price.

**HANDOVER:** The keys for any building will not be handed over until payment is made in full, (trades will return them to the sales office).

**BUILDING PERMIT APPLICATION Service:** Should you require Steeline Tasmania is to submit Planning & Building Permit Applications all council costs associated will be payable by the Applicant/Customer.

Planning Department  
Brighton Council  
1 Tivoli Rd  
Old Beach 7017



Dear Sir/Madam,

In response to the further information request letter dated 11/02/2025, please find attached additional information below and attached.

1. Re: C2.6.1 A1 or P1.

The proposed area has been excavated levelled with a FCR (road base) gravel driveway area. The space was formed for access partly when the original house works were being carried out for the wastewater system in the lower part of the property.

As the area will only be a road base FCR and not concrete or asphalt, the P1 performance criteria would be relevant.

Therefore in response to P1:

- (a) The nature of the use is to access a garage building.
- (b) The topography of the site is sloping to the north. Given the area is already formed the levels, access etc. are comfortable.
- (c) The drainage system ties into the existing stormwater outfalls from the house, driveways and sheds. A topside culvert will be installed to protect the building and driveway area.
- (d) There will be no likelihood of any sediment or debris as the site is already excavated and there is existing FCR coverage to the near level space.
- (e) As above, no likelihood of generating dust due to the existing FCR base.
- (f) The surfacing is already FCR road base material forming a clean and trafficable driveway area.

2. Please find attached GES's Dispersion report.

I will await councils assessment.

Kind Regards,

Kevin Roberts  
TAS BUILDING DESIGN Pty. Ltd.  
Date: 17/02/2025

TAS BUILDING DESIGN

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residential  
commercial

# ***DISPERSIVE SOIL ASSESSMENT***

***89 Honeywood Drive***

***Honeywood***

***February 2025***



GEO-ENVIRONMENTAL  

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S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

**Investigation Details**

<b>Client:</b>	Hayden Arnold
<b>Site Address:</b>	89 Honeywood Drive, Honeywood
<b>Date of Inspection:</b>	13/02/2025
<b>Proposed Works:</b>	New shed
<b>Investigation Method:</b>	Hand Auger
<b>Inspected by:</b>	JP Cumming

**Site Details**

<b>Certificate of Title (CT):</b>	129616/4
<b>Title Area:</b>	Approx. 1.39 ha
<b>Applicable Planning Overlays:</b>	Potential Dispersive Soils
<b>Slope &amp; Aspect:</b>	9° N facing slope
<b>Vegetation:</b>	Mixed Flora

**Background Information**

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Siltstone
<b>Climate:</b>	Annual rainfall 0mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Unserviced-On-site required
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## **Investigation**

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### ***Soil Profile Summary***

<b>BH 1 Depth (m)</b>	<b>BH 2 Depth (m)</b>	<b>USCS</b>	<b>Description</b>
0.00-0.20	0.00-0.30	SC	<b>Clayey SAND:</b> brown, dry, medium dense
0.20-0.80	0.30-0.70	CI	<b>Sandy CLAY:</b> trace of gravel, medium plasticity, brown, slightly moist, stiff,
0.80-1.00	0.70-1.20	SC	<b>Clayey SAND:</b> brown, yellow, slightly moist stiff, refusal on weathered siltstone / sandstone

## **Site Notes**

The natural soil has developed from Triassic siltstone/sandstone and typically features a sandy topsoil overlying clay subsoil.

## **Dispersive Soil Assessment**

The dispersive soil assessment of the property considers the proposed construction area.

Potential for dispersive soils

The site has been identified as an area subject to tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

### **Soil sampling and testing**

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive (Class 2.1) - Some dispersion (slight milkiness, immediately adjacent to aggregate).

### **Management Recommendations**

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
  - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
  - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
  - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m<sup>2</sup> of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with



gypsum, compacted, and capped with topsoil with natural soil and gypsum

- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

## **Conclusions**

There is a low risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD  
Environmental and Engineering Soil Scientist

## Appendix 1– Soil test results

# Laboratory Test Results

**Sample Submitted By:** JP. Cumming  
**Date Submitted:** 13/02/2025.  
**Sample Identification:** 89 Honeywood Drive, Honeywood  
**Soil to be tested:** Emerson soil dispersion test.

### Result:

Sample	Texture	Emerson class	Description
Hole 1 0.5m	Clay	Class 2.(1)	Slight dispersion
Hole 2 – 0.5m	Clay	Class 2.(1)	Slight dispersion

**Some dispersion (slight milkiness, immediately adjacent to aggregate).**

**Sample Tested by:** JP. Cumming  
13/02/2025

## **Disclaimer**

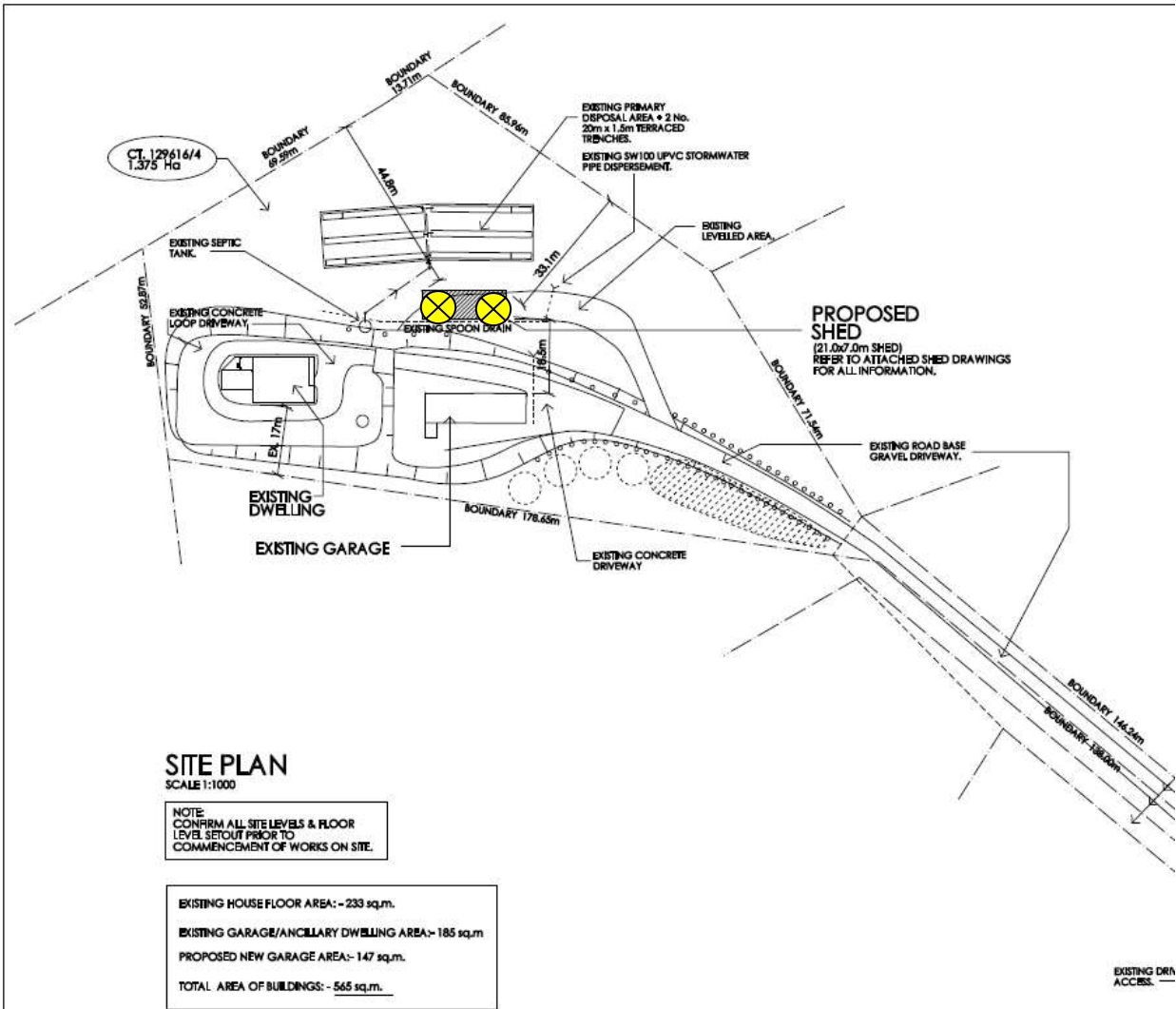
This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by a third party.

# Site Plan



Approx. test holes 