



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/224

LOCATION OF AFFECTED AREA

5 BEMLENA PLACE, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

ADDITIONS TO EXISTING DWELLING (CARPORT)

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **20/02/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

NEW CARPORT
5 BEMLENA PLACE, BRIGHTON, 7030
FOR D. BROWNING

CERTIFICATE OF TITLE: VOLUME - 47938 FOLIO - 5
PID: 7747713
LAND AREA: 666m²

PLANNING SCHEME: TASMANIAN PLANNING SCHEME
BRIGHTON LOCAL PROVISIOND SCHEDULE
ZONE: 8. GENERAL RESIDENTIAL
OVERLAYS: WATERWAY AND COSTAL PROTECTION CODE

SOIL CLASSIFICATION: ASSUMED M
WIND REGION: A
TERRAIN CATEGORY: TC2
IMPORTANCE LEVEL: 2 (DOMESTIC)
SHIELDING: 1
TOPOGRAPHY: 1
BAL: NOT REQUIRED (CLASS 10A STRUCTURE NOT WITHIN AN AREA IDENTIFIED BY
COUNCIL BUSHFIRE MAPPING AS BEING BUSHFIRE PRONE)

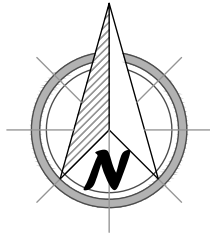
INDEX OF DRAWINGS - BY ADRIAN BROWN CCG003R

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ADDITIONAL DRAWINGS / ENGINEERING
BY NORTHERN CONSULTING ENGINEERS

JOB NO - 72371



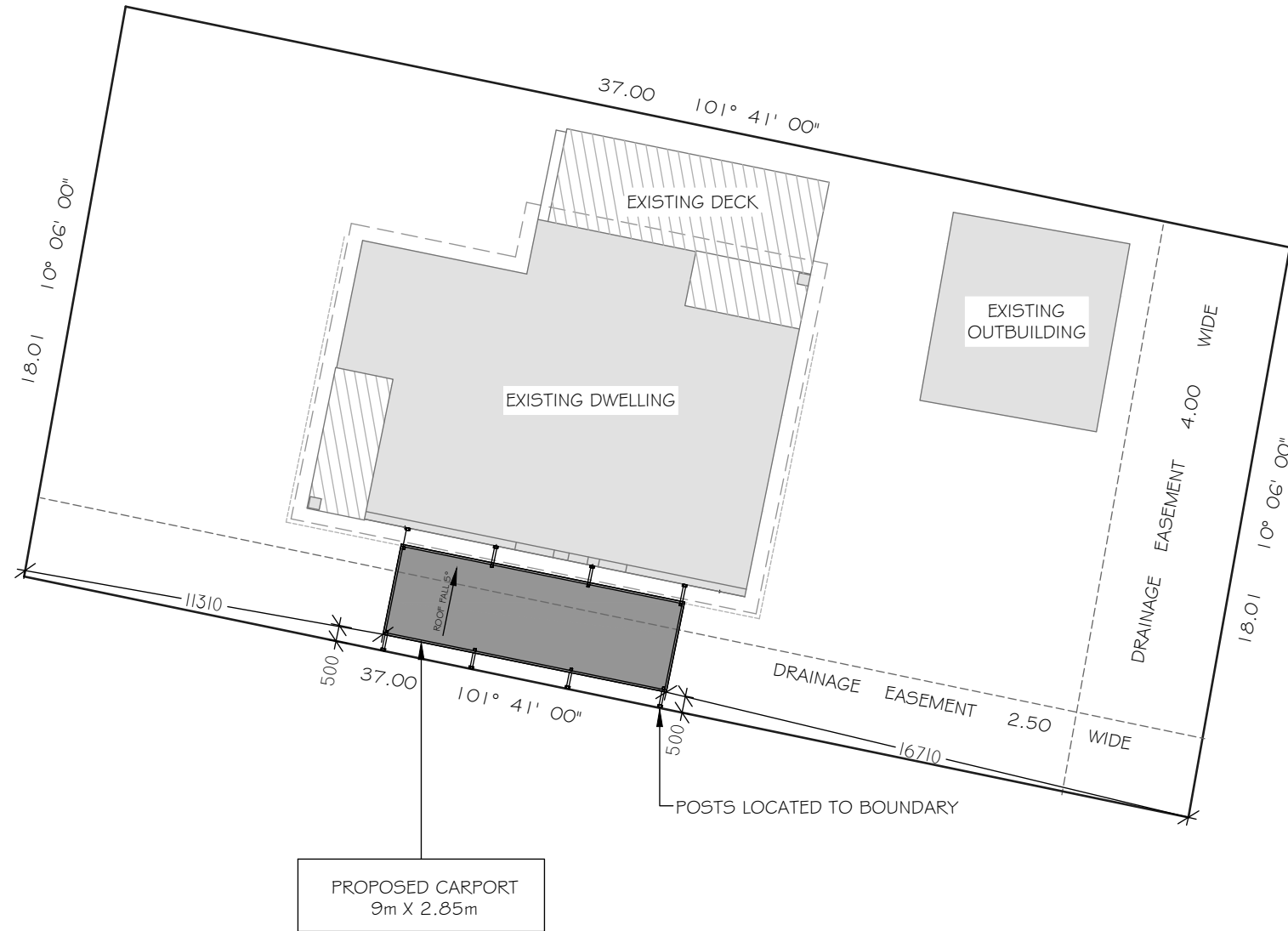


B E M L E N A
P L A C E

LOT AREA: 666m²

EXISTING DWELLING AREA: 118.5m²
" DECK AREA: 30.8m²
" FRONT PORCH AREA: 8.1m²
" OUTBUILDING: 33.1m²

PROPOSED CARPORT AREA: 25.65m²

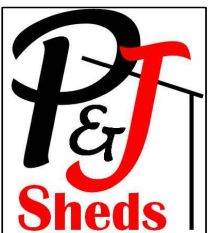


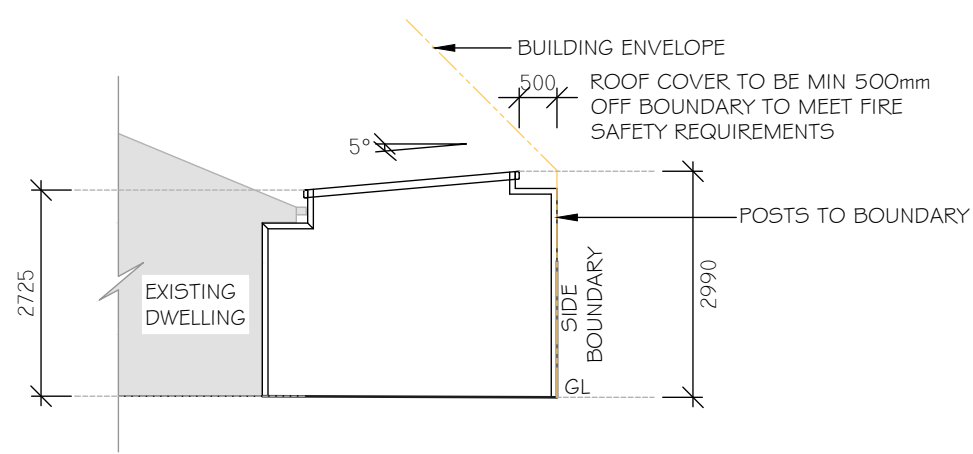
VOL : 47938
FOLIO: 5
666m²

SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

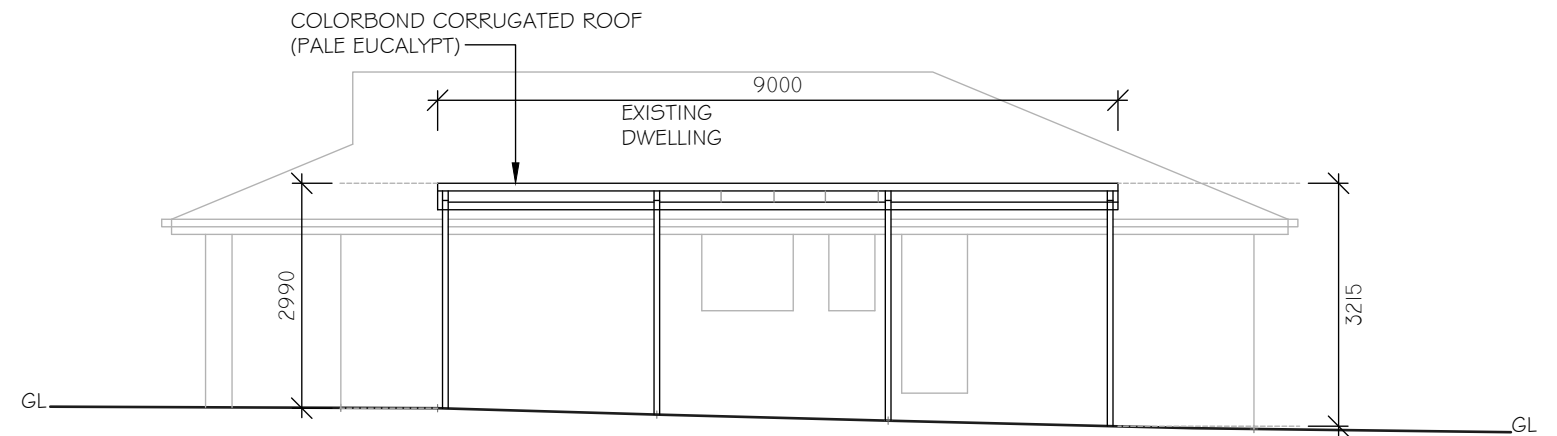
SITE PLAN 1:200

PROPOSAL : NEW CARPORT
OWNER : D. BROWNING
ADDRESS: 5 BLEMLENA PLACE, BRIGHTON, 7030
SCALE: 1:200
DATE: 22nd JANUARY 2025
AMENDED:
DRAWN BY: A. BROWN CCG003R
PAGE: 01/05
JOB NO : 72371

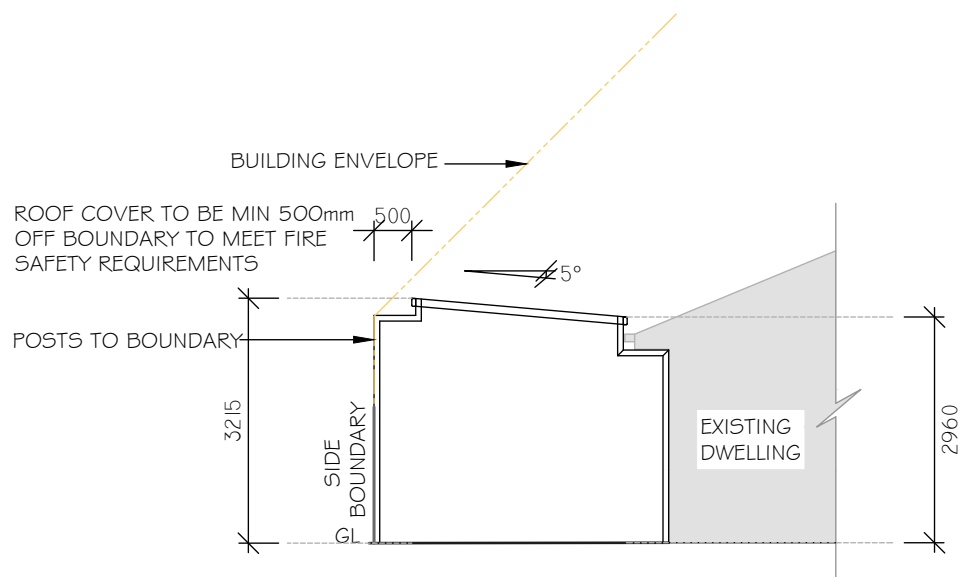




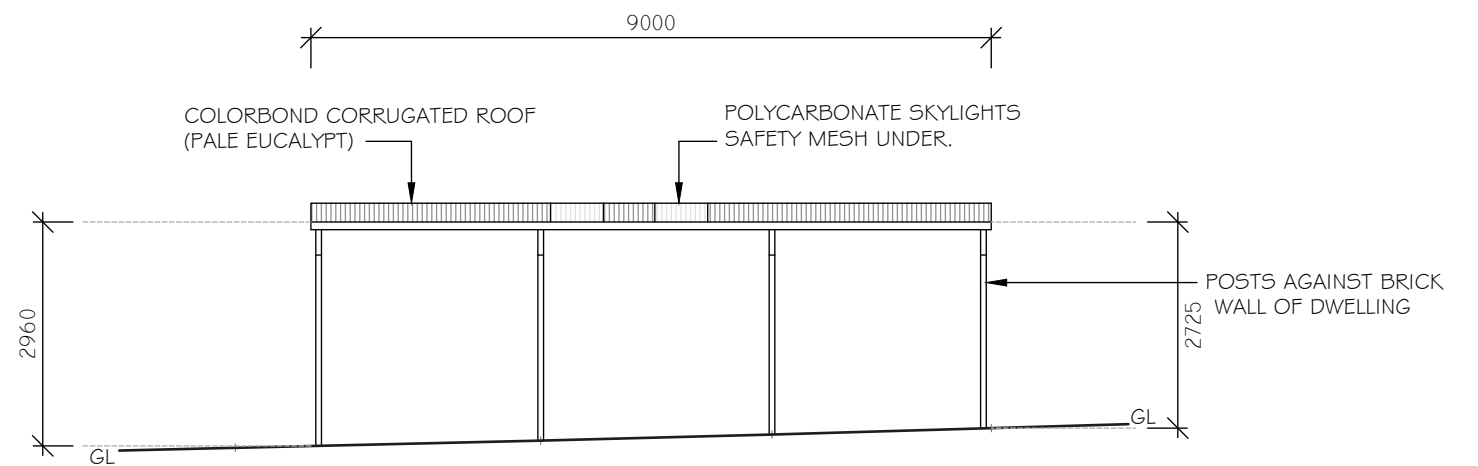
WEST ELEVATION



SOUTH ELEVATION



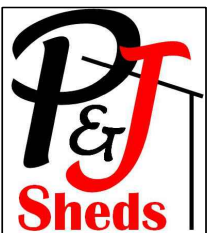
EAST ELEVATION



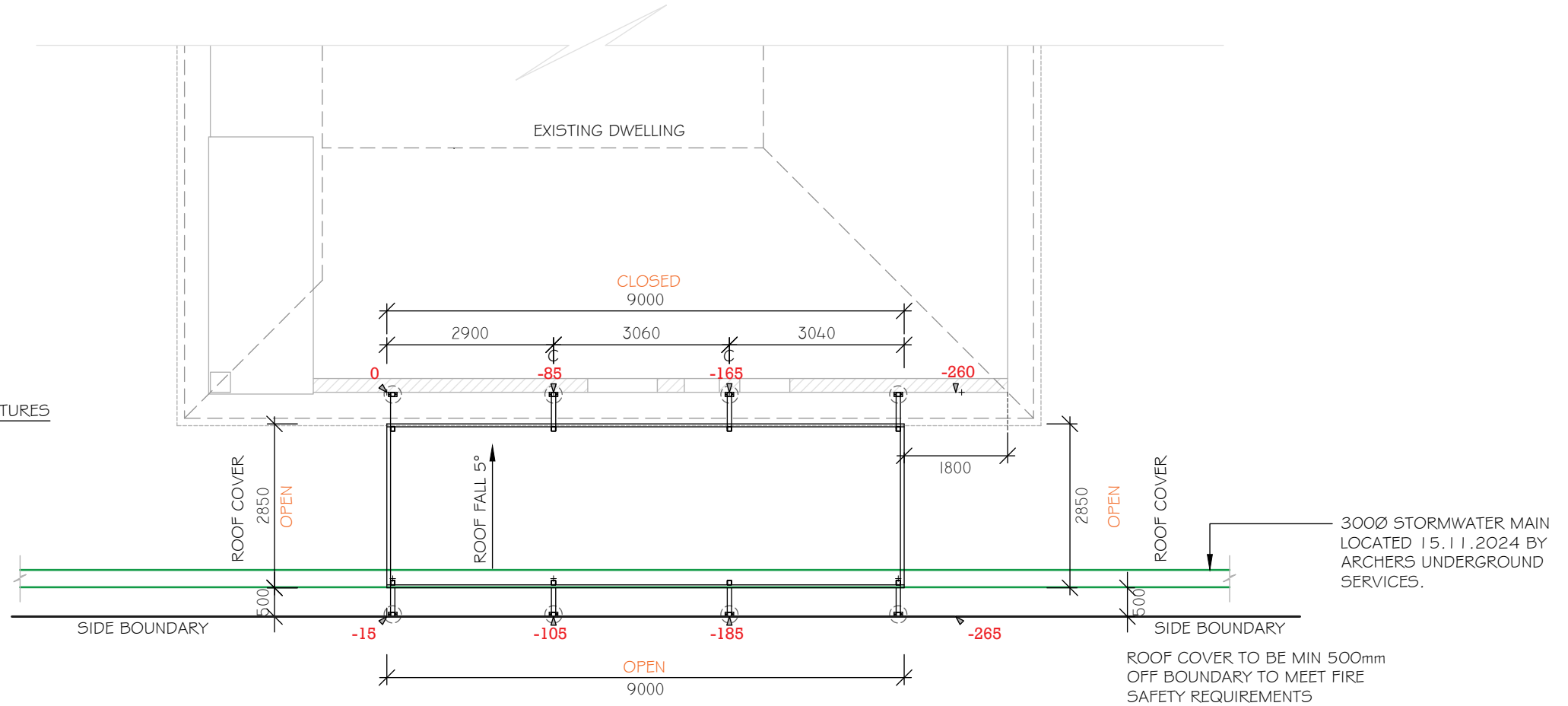
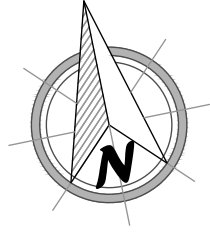
NORTH ELEVATION

COLOURS (COLORBOND®):
 ROOF - PALE EUCALYPT
 GUTTER - PALE EUCALYPT
 BARGE FLASHING - PALE EUCALYPT

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 DRAWN BY: A. BROWN CCG003R
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ELEVATIONS 1:100

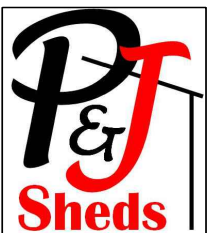


FIRE SAFETY REQUIREMENTS FOR OPEN STRUCTURES
AS PER NCC 2022 9.2.8

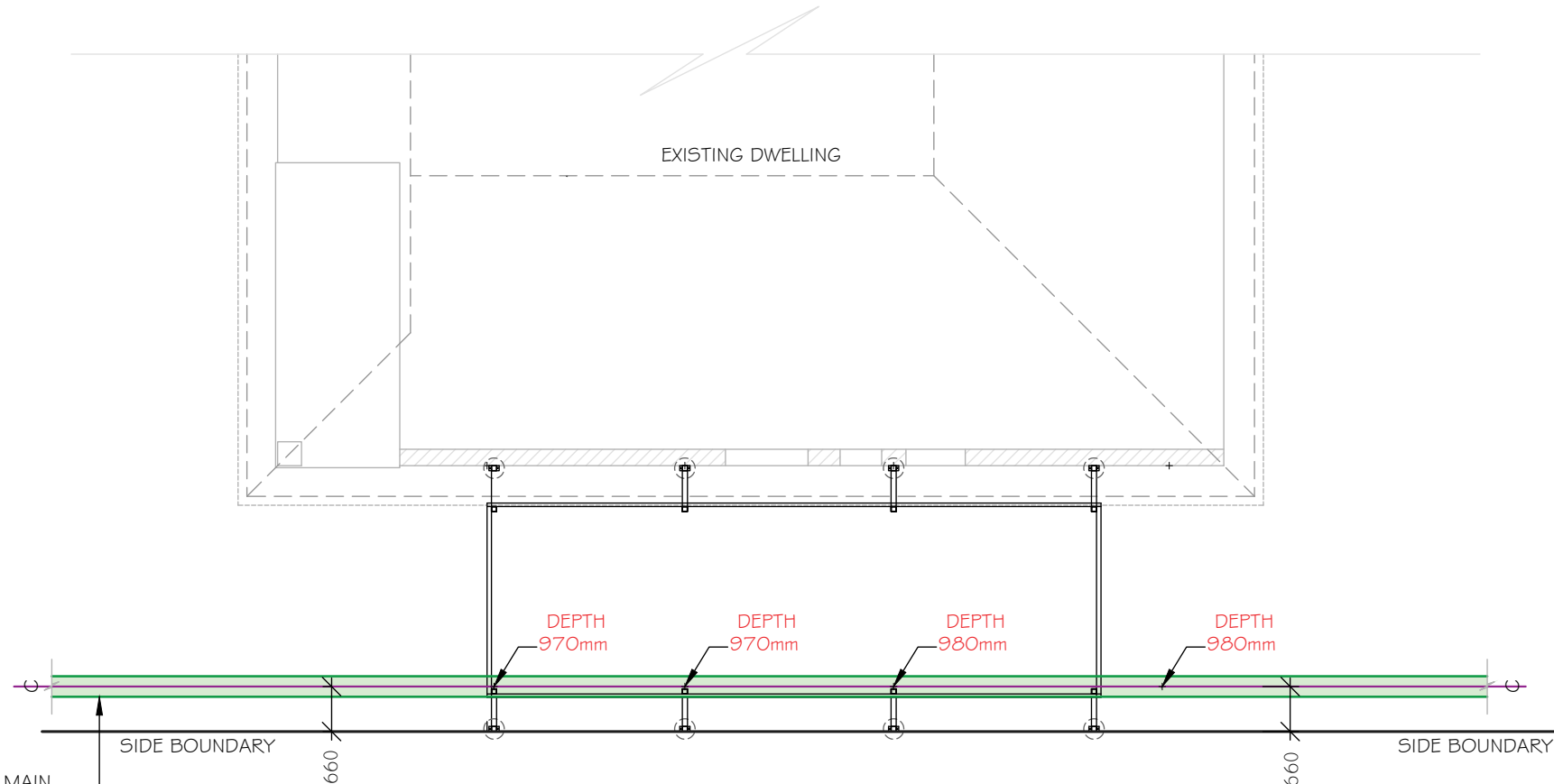
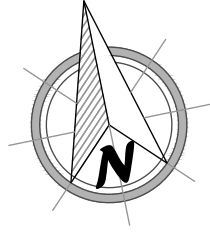
PERIMETER = 23.7m
OPEN LENGTH = 14.7m

TWO OR MORE SIDES AND NOT LESS
THAN ONE THIRD OF ITS PERIMETER (7.9m)
OF OPEN LENGTH IS REQUIRED TO
SATISFY FIRE SEPARATION REQUIREMENTS
OF OPEN STRUCTURES 9.2.8 OF NCC

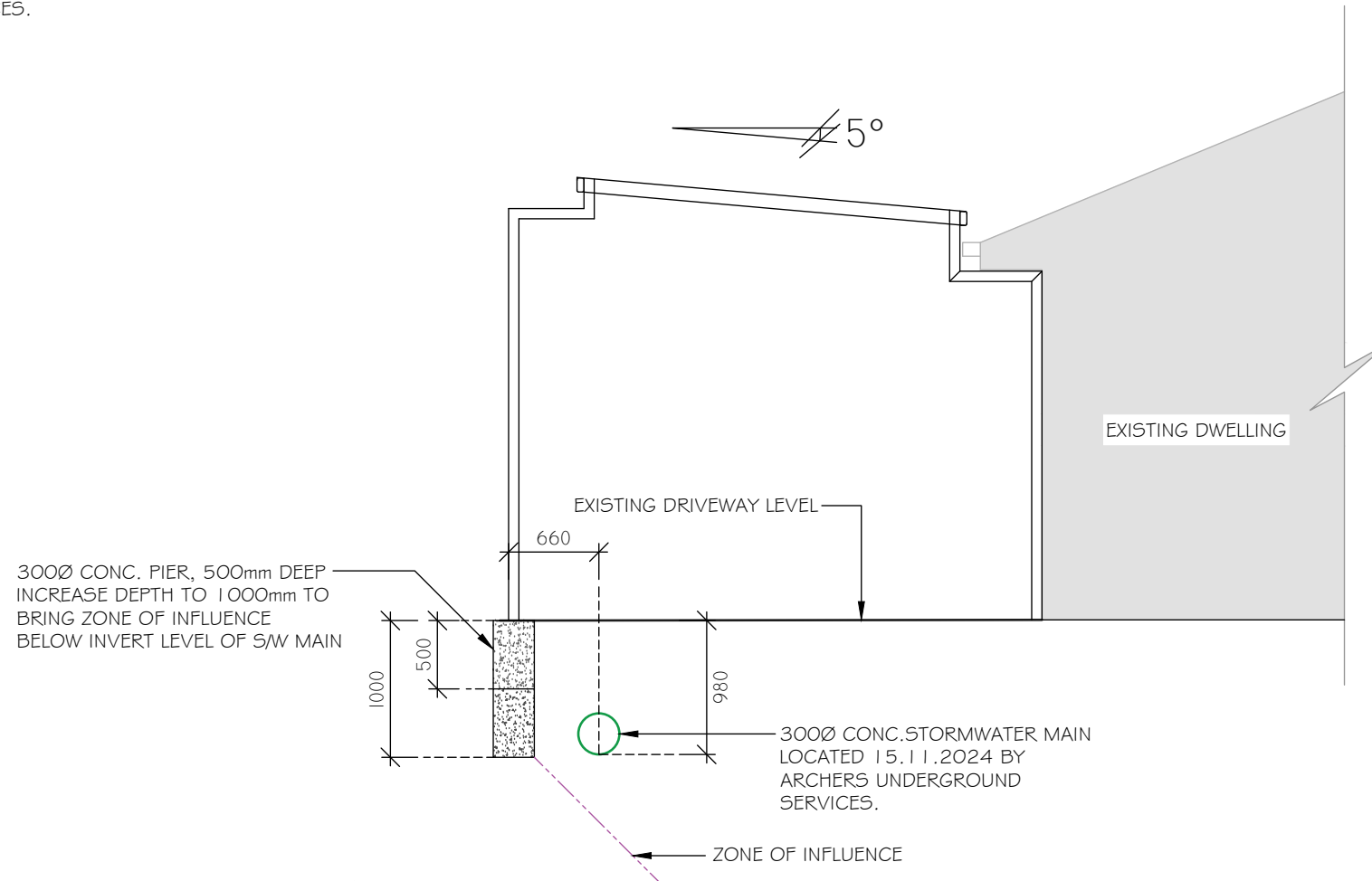
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FLOOR PLAN 1:100



3000 Ø STORMWATER MAIN
LOCATED 15.11.2024 BY
ARCHERS UNDERGROUND
SERVICES.



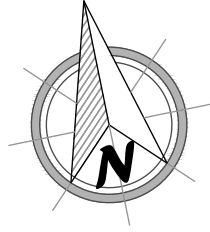
3000 Ø CONC. PIER, 500mm DEEP
INCREASE DEPTH TO 1000mm TO
BRING ZONE OF INFLUENCE
BELOW INVERT LEVEL OF S/W MAIN

3000 Ø CONC. STORMWATER MAIN
LOCATED 15.11.2024 BY
ARCHERS UNDERGROUND
SERVICES.

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STGORMWATER MAIN LOCATION 1:100 & SECTION DETAIL 1:50



CONSTRUCTION GENERALLY:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS,
BUILDING CODE OF AUSTRALIA (B.C.A.), RELEVANT AUSTRALIAN STANDARDS AND LOCAL
AUTHORITY REQUIREMENTS.

SITE PREPARATION AND EXCAVATION TO COUNCIL AND B.C.A REQUIREMENTS.

CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS.
UNLESS OTHERWISE SPECIFIED, FOOTINGS 20MPA / SLAB 25MPA.

STRUCTURAL; DETAILS AND CERTIFICATION AS PER 'FAIR DINKUM' BUILDS'
DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR
TO COMMENCEMENT OF WORK ON SITE.

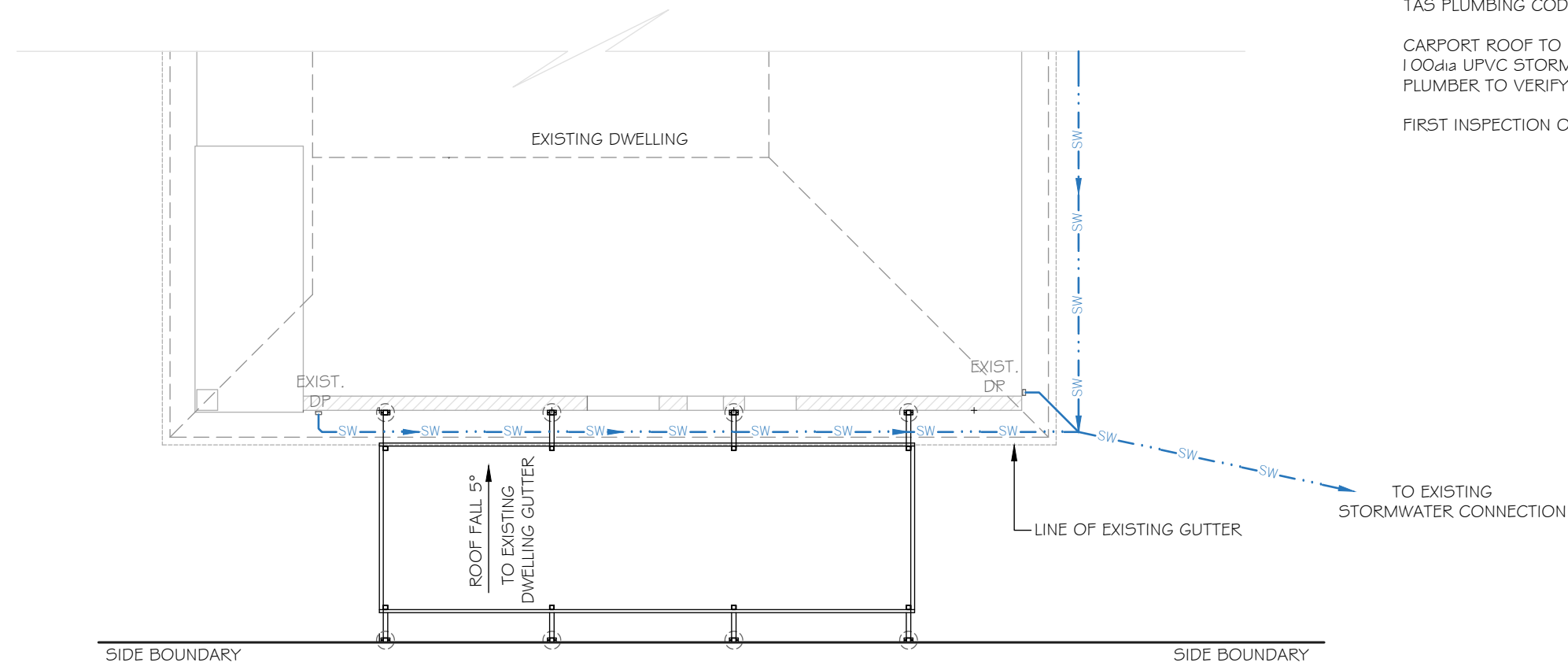
USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT P&J SHEDS IF NECESSARY INFORMATION IS
NOT PROVIDED ON THIS SET OF PLANS.

PLUMBING GENERALLY:
ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500.
TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

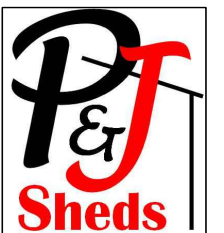
CARPORT ROOF TO FALL TO EXISTING GUTTER OF DWELLING.
100dia UPVC STORM WATER TO EXISTING STORM WATER CONNECTION.
PLUMBER TO VERIFY CONNECTION LOCATION WITH OWNER.

FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.



PLUMBING PLAN 1:100

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DRAWN BY: A. BROWN CCG003R
PAGE: 05/05
JOB NO : 72371



Customer: **P & J Sheds**

WA-31L41922

Contact:

Phone: 62444300

Address:

Email: admin@fairdinkumhobart.com.au

Worksite: **5 Bemplena Place, Brighton**

Site Contact: **Adrian Brown**

Assigned to: **Jonathan Harris**

Phone: **62444300**

Date Completed: **15-11-2024**

PO or Job#:

Signatures:

*If a Quotation or a Variation by signing below I acknowledge that I am accepting the same,
if a Work Approval I sign as acknowledgement that I authorise the works specified above to proceed.
I have read and understand the TERMS AND CONDITIONS OF TRADE (overleaf or attached)
of Archers Underground Services Pty Ltd which form part of,
and are intended to be read in conjunction with this Multi Purpose Form and agree to be bound by these conditions.
I authorise the use of my personal information as detailed in the Privacy Act clause therein.
I agree that if I am a director/shareholder (owning at least 15% of the shares) of the Customer
I shall be personally liable for the performance of the Customer's obligations under this contract.*

Archers Underground Services

Customer

Name: **Jonathan Harris**

Name: **Adrian Brown**



Job Notes:

Locate and mark underground services as requested.

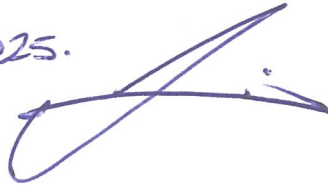
~~Private sewer.~~

Photos:

*THIS IS BRIGHTON COUNCIL
STORM WATER THAT WAS
LOCATED BY ON 15-11-2024*

*John Harris
ARCHERS*

23-01-2025.



service at their own risk. Before your job is begun, and ensure you have the correct and information needed to carry out a project.

asset owners if you need assistance. Look for clues onsite. Engage a skilled Locator.

hand digging or hydro vacuum extraction.

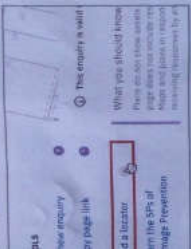
exposed infrastructure is the responsibility of the excavator. Always erect safety barriers in areas of risk, and enforce exclusion zones.

Engage a skilled Locator

When you lodge an enquiry you will see skilled Locators to contact

Visit the Certified Locator website directly for a locator near you

dbydlocator.com/certified-locating-organisations



A FREE BYDA Session

BYDA offers two different sessions to suit you and your organisation's needs. The free sessions are two different formats - online and face-to-face:



- 1. Awareness Session:** Understand the role of BYDA, safe excavation practices, complying with instructions, and the consequences of damages. Learn how to mitigate and avoid potential damage harm and ensure a safe work environment.
- 2. Plan Reading Session:** Develop the skills to interpret asset owners' plans, legends, and symbols. Understand the complexities of plan interpretation to ensure smooth project execution.

To book a session, visit:
byda.com.au/contact/education-awareness-enquiry-form/

BOOK NOW

