



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2021/231

LOCATION OF AFFECTED AREA

48 HASKELL ROAD, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING

THE APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **21/9/2021**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au.

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

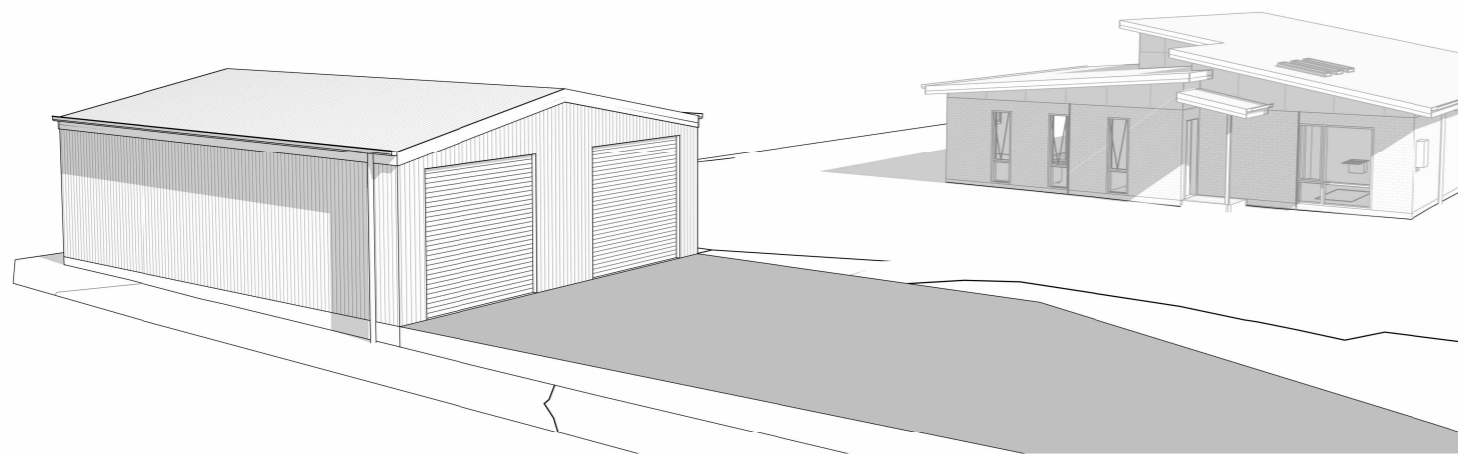
JAMES DRYBURGH
General Manager

Brighton
going places



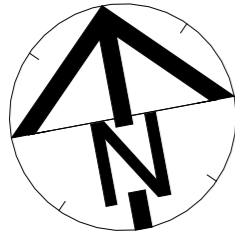
AP2020-1766 - PROPOSED MCKNIGHT SHED
48 Haskell Road,
BRIGHTON

SHEET	DRAWING TITLE
01	SITE PLAN
01a	DRAINAGE PLAN
01b	SOIL & WATER MANAGEMENT PLAN
02	SHED PLANS
02a	PERSPECTIVE VIEWS



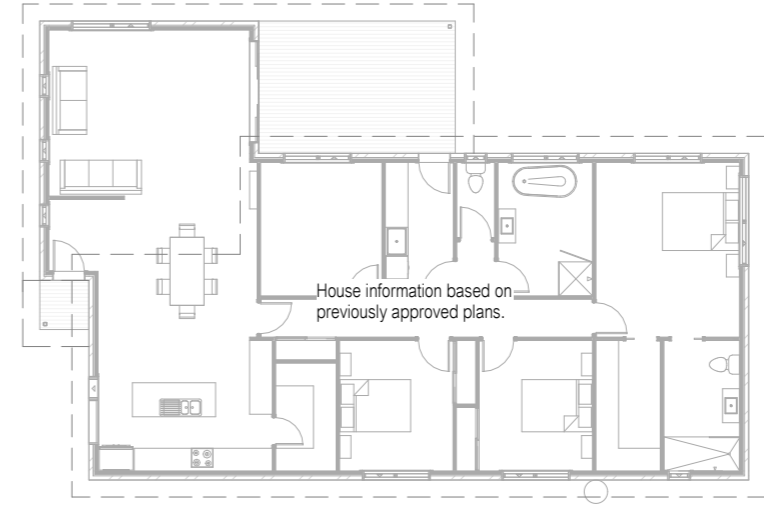
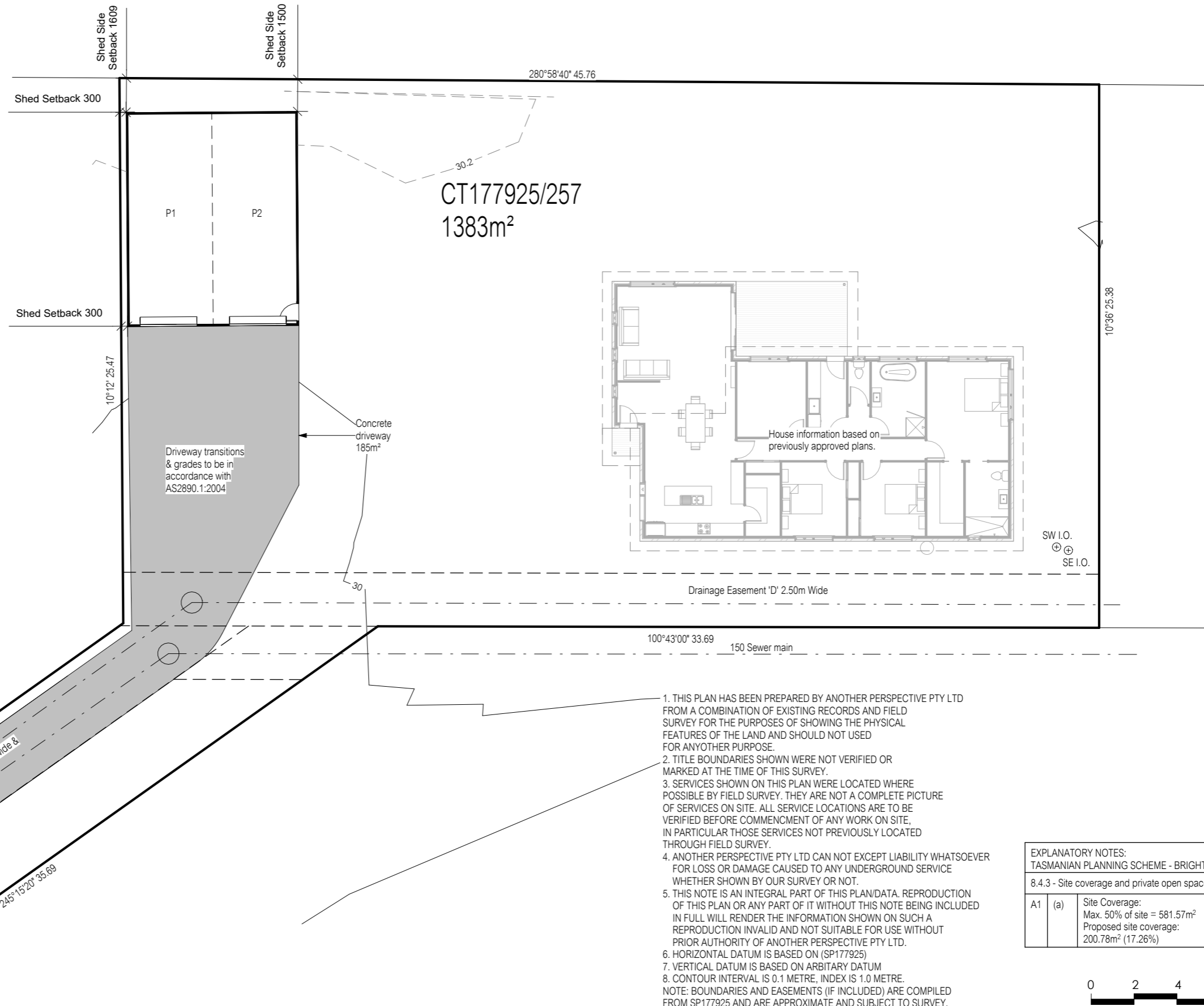
Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Dimensions to take precedence over scale. • Do not scale from these drawings.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED MCKNIGHT SHED 48 Haskell Road, BRIGHTON	Soil Classification: Title Reference: Floor Areas: Porch / Deck Areas: Wind Speed: Climate Zone: Alpine Zone: Corrosion Environment: Certified BAL: Designed BAL: (Refer to Standard Notes for Explanation)	M CT177925/257 80m ² N/A N2 7 N/A Moderate LOW LOW	COVER SHEET AP2020-1766 Date 23 August 2021 Sheet 00/02
	SHED PLAN SET. No. Amendment	13 Aug. 2021 Date	CK Drawn	SF Checked	01 - 02 Sheet

SHED PLAN SET.	13 Aug. 2021	CK	SF	01 - 02
No. Amendment	Date	Drawn	Checked	Sheet



PROPOSED SHED

Shed FFL 30.40



1. THIS PLAN HAS BEEN PREPARED BY ANOTHER PERSPECTIVE PTY LTD FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.
 3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
 4. ANOTHER PERSPECTIVE PTY LTD CAN NOT EXCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
 5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF ANOTHER PERSPECTIVE PTY LTD.
 6. HORIZONTAL DATUM IS BASED ON (SP177925)
 7. VERTICAL DATUM IS BASED ON ARBITRARY DATUM
 8. CONTOUR INTERVAL IS 0.1 METRE, INDEX IS 1.0 METRE.
- NOTE: BOUNDARIES AND EASEMENTS (IF INCLUDED) ARE COMPILED FROM SP177925 AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

EXPLANATORY NOTES: TASMANIAN PLANNING SCHEME - BRIGHTON COUNCIL	
8.4.3 - Site coverage and private open space for all dwellings	
A1 (a)	Site Coverage: Max. 50% of site = 581.57m ² Proposed site coverage: 200.78m ² (17.26%)



No.	Date	Int.
	13 Aug. 2021	CK

Amendment changes as per cover sheet

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NEW TOWN
LIC. NO. CC2204H (A. Strugnell)
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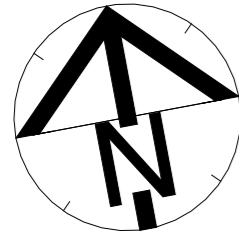
Client / Project info
PROPOSED MCKNIGHT SHED
48 Haskell Road,
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SITE PLAN	
Drawn	CK AP2020-1766
Date	23 August 2021 Sheet
Scale	1:200
01/02	

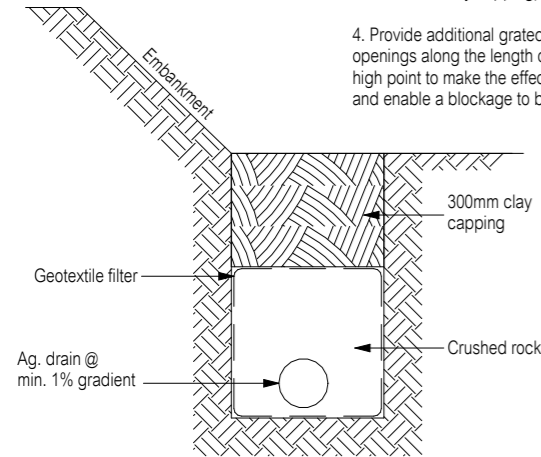
DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400
Shr	Shower	400
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900

---	Sewer Line (1000 UPVC) (unless noted otherwise)
---	Stormwater Line (1000 UPVC) (unless noted otherwise)
---	Stormwater Line (1500 UPVC) (unless noted otherwise)

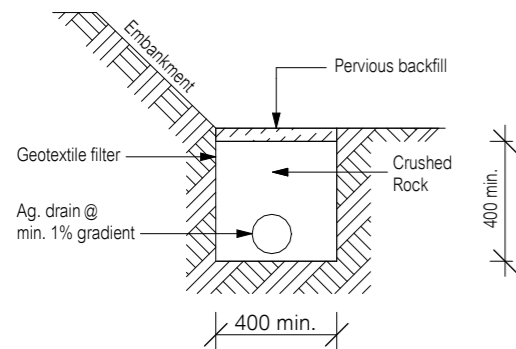


Where ag drain is < 1.5m from footing, the following engineering principles are required:

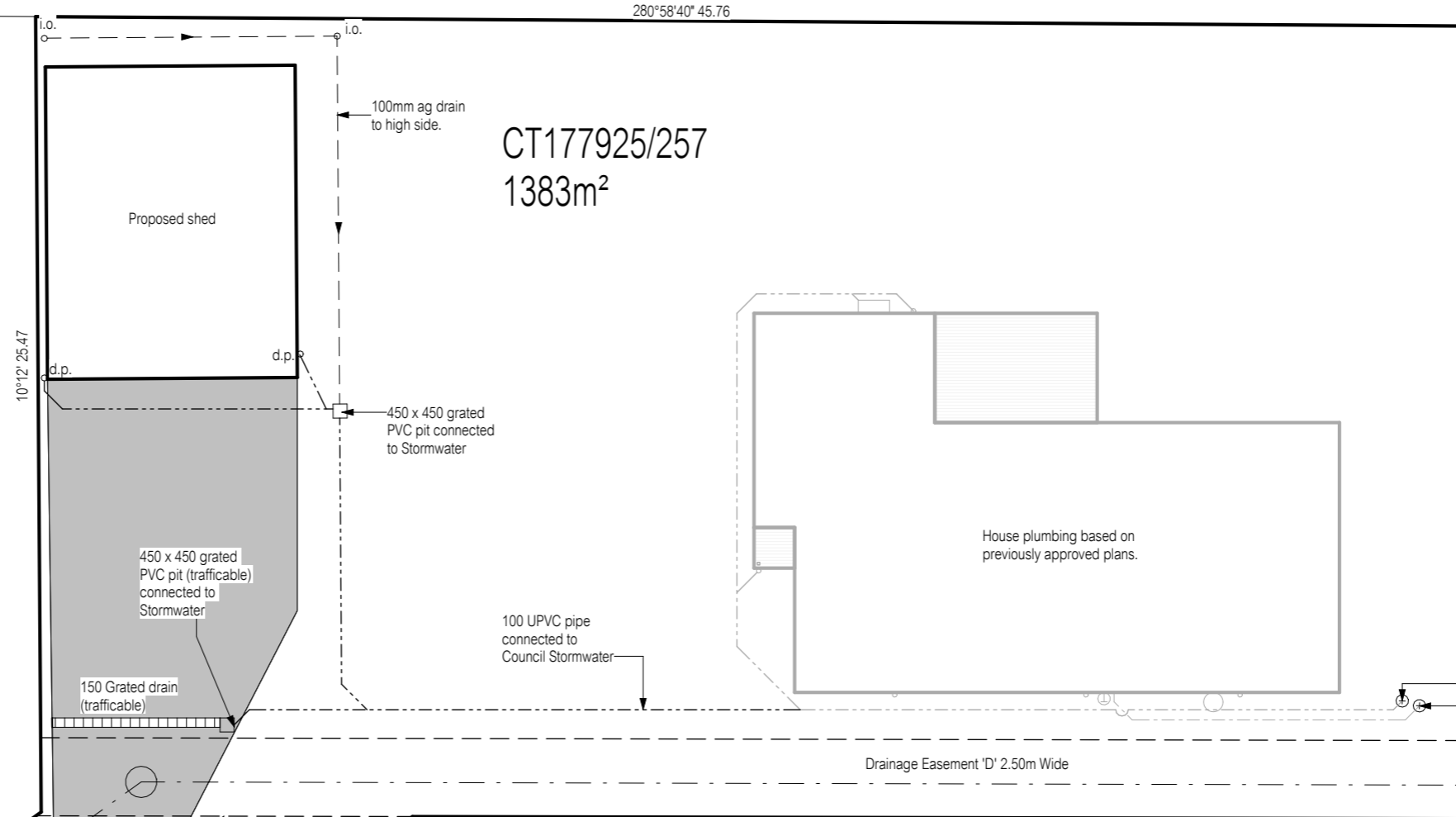
1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.



TYPICAL AG. DRAIN DETAIL (<1800 FROM HOUSE)
Not to scale



TYPICAL AG. DRAIN DETAIL (≥1800 FROM HOUSE)
Not to scale



All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes.

Refer to Roof Plan for downpipe calculations

ROOF DRAINAGE NOTE:
Min. medium rectangular gutter & min. 900 downpipe specified as per N.C.C. part 3.5.3. These sizes and downpipe quantities are based on a max. roof catchment area of 70m²



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Soil Classification: M
Refer to Soil Report for nominated founding depth and description of founding material.
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3:2003
Amendment changes as per cover sheet

- Wet areas to comply with NCC 3.8.1.2 and AS3740

Notes

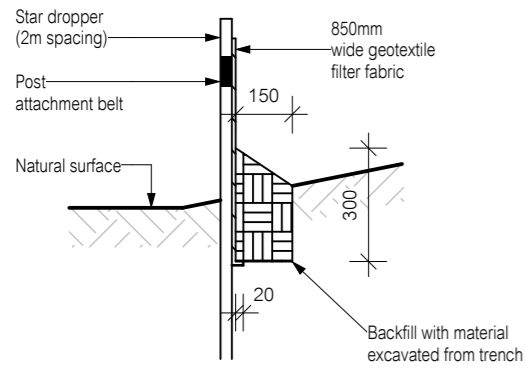
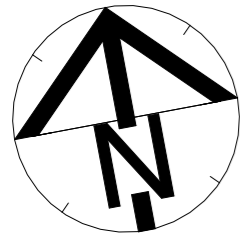
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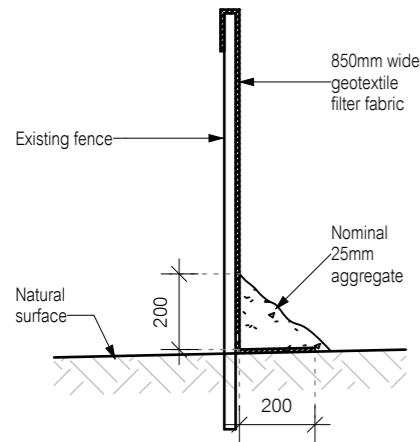


DRAINAGE PLAN		
Drawn	CK	AP2020-1766
Date	23 August 2021	Sheet
Scale	1:200	01a/02



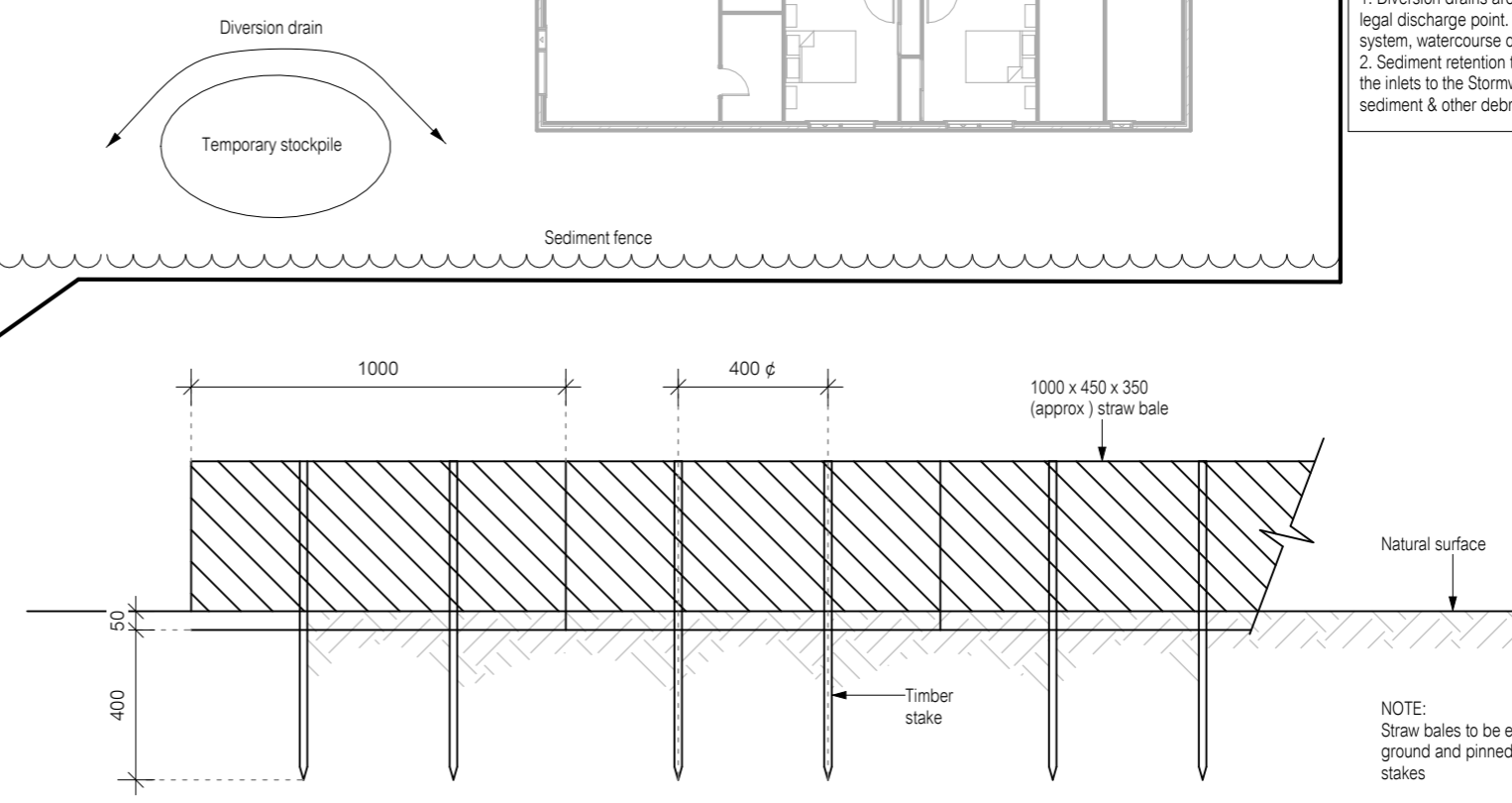
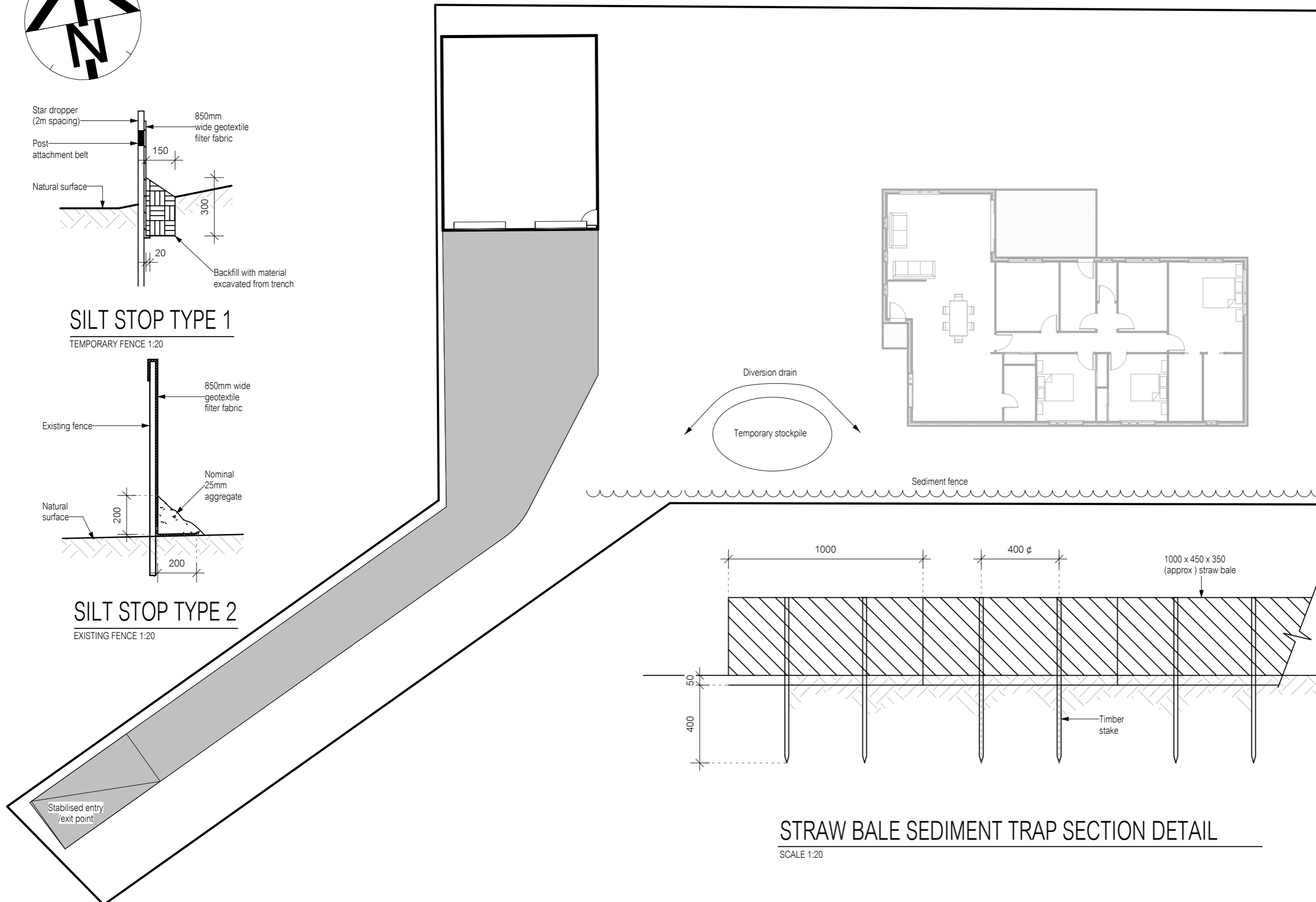
SILT STOP TYPE 1

TEMPORARY FENCE 1:20



SILT STOP TYPE 2

EXISTING FENCE 1:20



STRAW BALE SEDIMENT TRAP SECTION DETAIL

SCALE 1:20

NOTES:
Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site

NOTES:
1. Erosion and sediment control structures to be inspected each working day and maintained in good working order.
2. All ground cover vegetation outside the immediate building area to be preserved during the building phase
3. All erosion and sediment control measures to be installed prior to commencement of major earthworks.
4. Stockpiles of clayey material to be covered with an impervious sheet.
5. Roof water downpipes to be connected to the permanent underground Stormwater drainage system as soon as practical after the roof is laid

NOTES:
1. Diversion drains are to be connected to a legal discharge point. (council Stormwater system, watercourse or road drain).
2. Sediment retention traps installed around the inlets to the Stormwater system to prevent sediment & other debris blocking the drains.

NOTE:
Straw bales to be entrenched 50mm in ground and pinned by 20 x 20mm timber stakes

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Amendment changes as per cover sheet

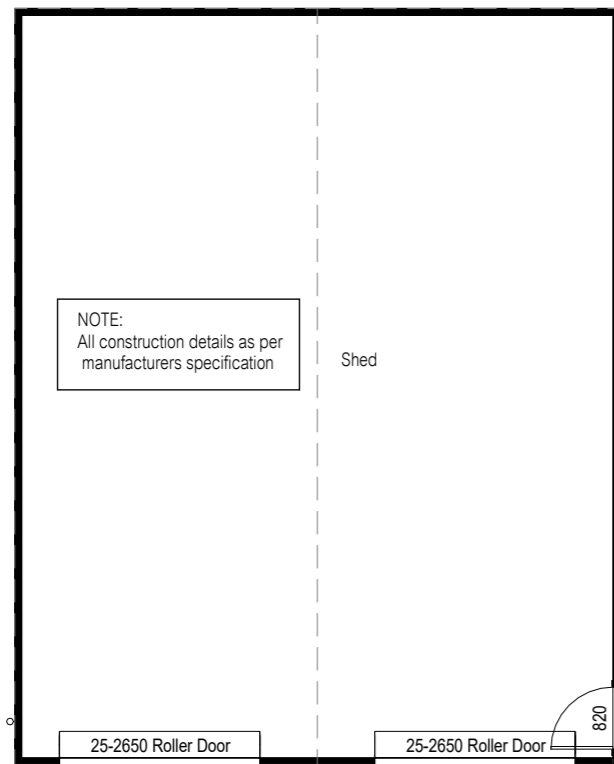
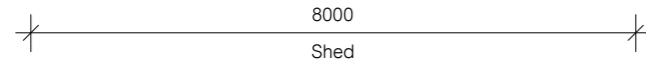
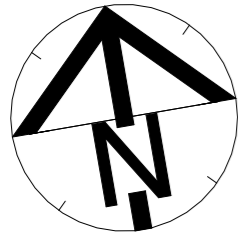
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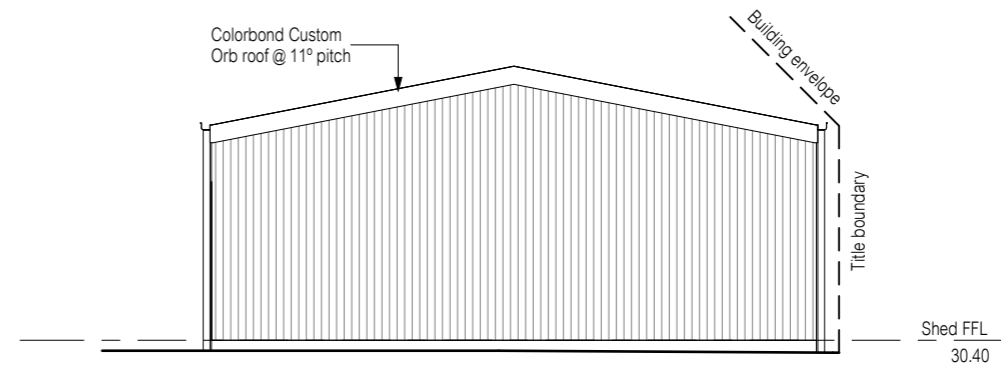
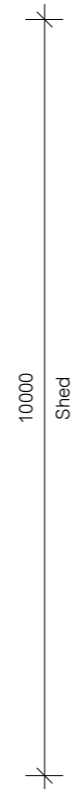
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SOIL & WATER MANAGEMENT PLAN		
Drawn	CK	AP2020-1766
Date	23 August 2021	Sheet
Scale	As indicated	01b/02

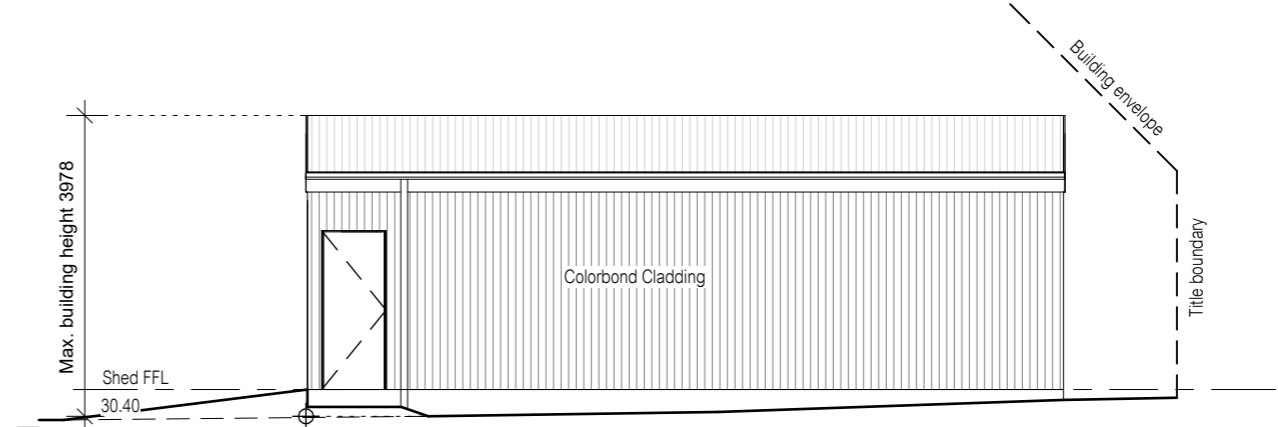


Shed Floor Plan

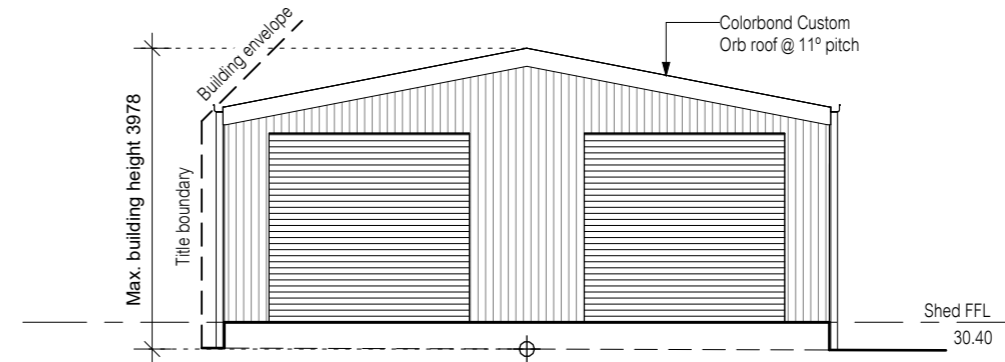


Shed North Elevation

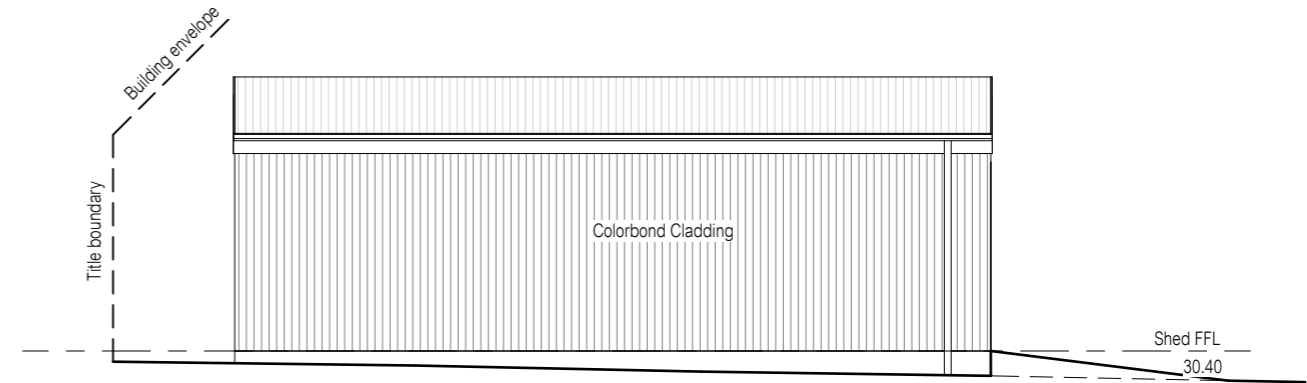
IMPORTANT NOTE:
Colours chosen must not
Exceed 40% light reflectance
Value (LVR)



Shed East Elevation



Shed South Elevations



Shed West Elevation

Floor Area = 80m²

Articulation joints

Smoke Alarm (interconnected where more than 1)

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SHED PLANS

Drawn CK AP2020-1766

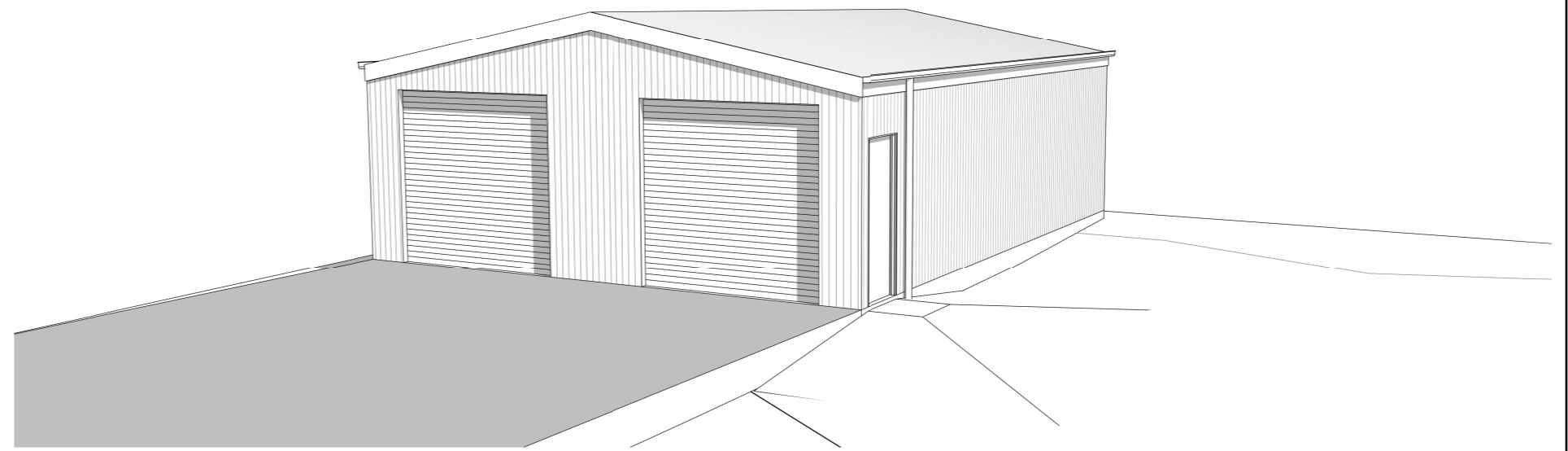
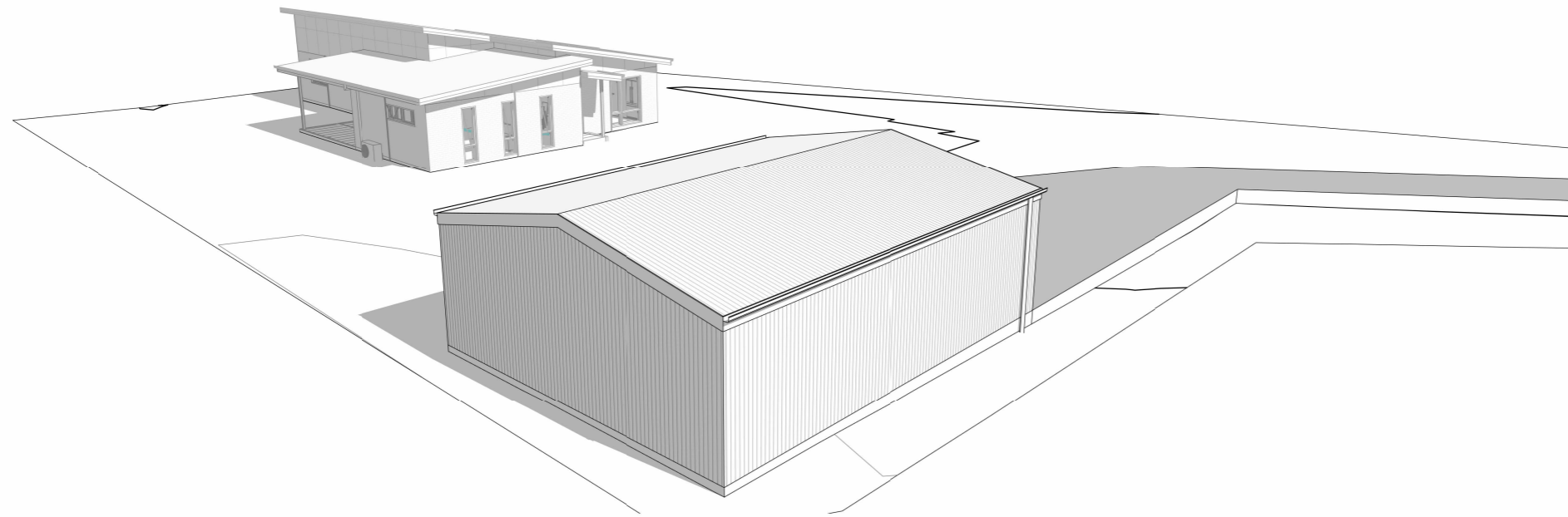
Date 23 August 2021 Sheet

Scale 1:100

02/02

No.	Date	Int.
	13 Aug. 2021	CK

Amendment changes as per cover sheet



No.	Date	Int.
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Shadows shown for stylisations purpose only

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PERSPECTIVE VIEWS		
Drawn	CK	AP2020-1766
Date	23 August 2021	Sheet
Scale		02a/02
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