



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2025/002**

LOCATION OF AFFECTED AREA

**13 PARKES COURT, BRIGHTON**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**SECONDARY RESIDENCE**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **12/02/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**Chief Executive Officer**



**Brighton**  
*going places*



# ORAMATIS

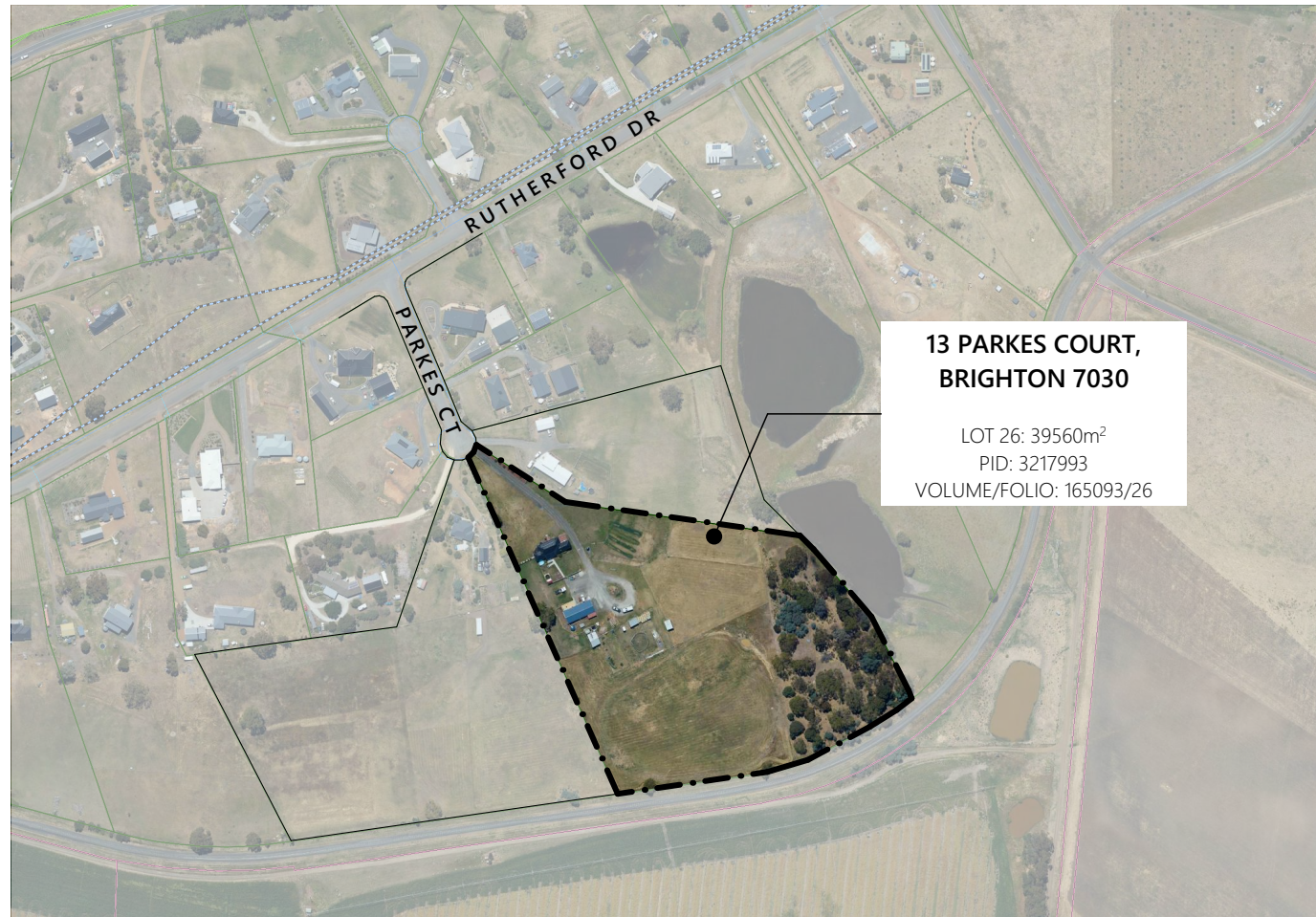
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DEVELOPMENT APPLICATION

13 PARKES COURT, BRIGHTON 7030

# PARKES COURT PROPOSED ANCILLARY

ID	NAME	REV
	COVER PAGE	
DA01	NOTES & SITE LOCATION PLAN	
DA02	SITE PLAN	
DA03	SITE PLAN	
DA04	GROUND FLOOR PLAN	
DA05	ELEVATION	



1 LOCATION PLAN/SATELLITE IMAGERY  
1:5000

## GENERAL NOTES

GENERAL  
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DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY  
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE  
VOLUME (PLAN): 165093/26

DESIGN WIND SPEED  
WIND LOADING TO AS 4055: N\*

SOIL CLASSIFICATION  
SOIL CLASSIFICATION TO AS 2870: N#

CLIMATE ZONE FOR THERMAL DESIGN  
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING  
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: BAL-XX

CORROSION ENVIRONMENT  
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a

SCHEDULE OF AREAS  
GROUND FLOOR SITE COVERAGE: 60m<sup>2</sup>  
EXISTING SHED (APPROX): 237m<sup>2</sup>  
PERVIOUS SURFACES: 539m<sup>2</sup>  
SITE AREA : 39560m<sup>2</sup>  
SITE COVERAGE: 1.36%

### GENERAL NOTES

CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED.  
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REV ID	DESCRIPTION	DATE

PROJECT  
PARKES COURT  
13 PARKES COURT, BRIGHTON 7030

CLIENT  
JARYD COLLIDGE

REVISION

DATE  
22/01/2025

PROJECT ID  
2472

CHECKED BY  
A. HILL

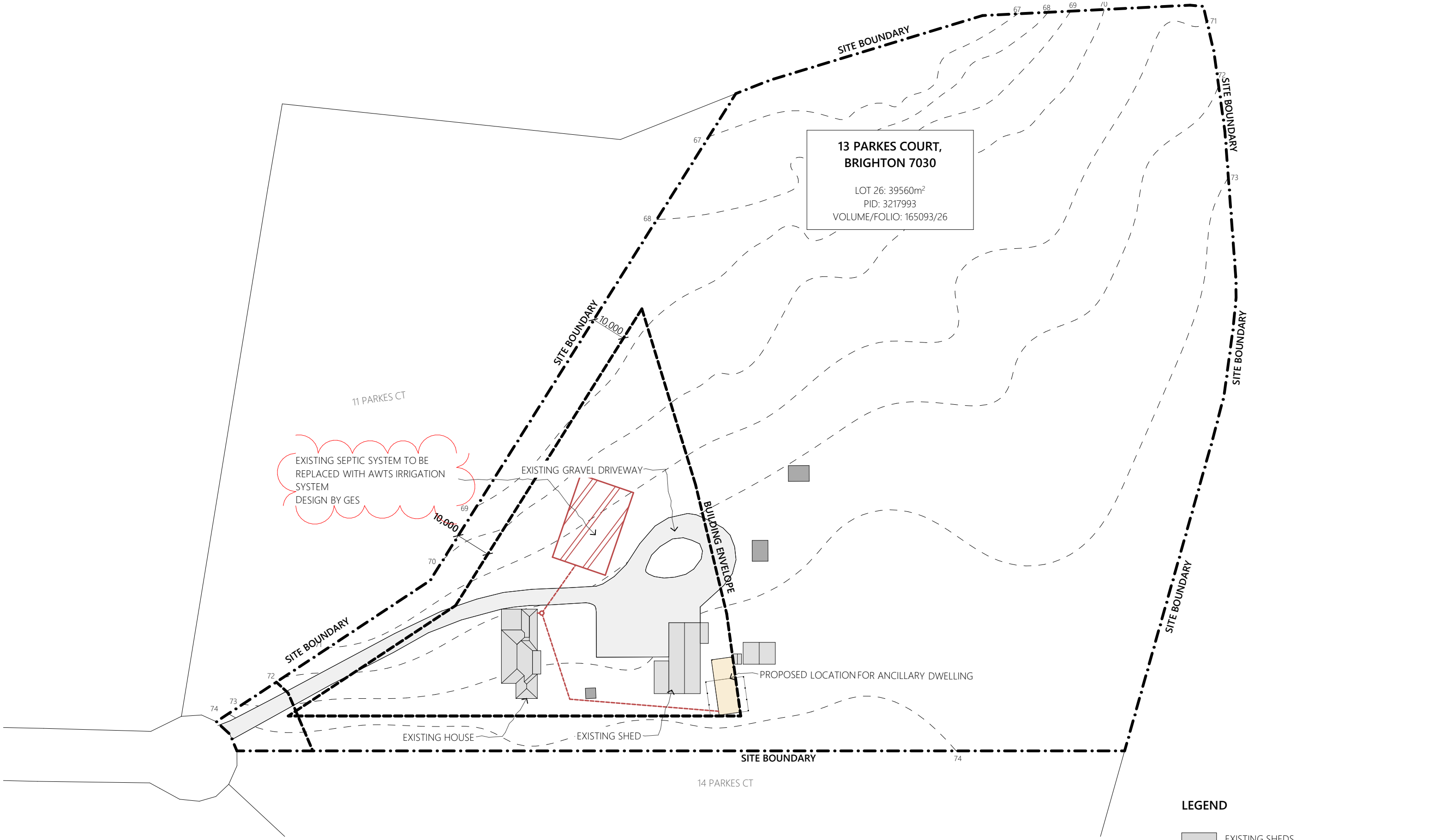
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DRAWN BY  
J. LIM

PAGE  
DA01

DRAWING  
NOTES & SITE LOCATION PLAN

NORTH  

**13 PARKES COURT,  
BRIGHTON 7030**

LOT 26: 39560m<sup>2</sup>  
PID: 3217993  
VOLUME/FOLIO: 165093/26

EXISTING SEPTIC SYSTEM TO BE REPLACED WITH AWTS IRRIGATION SYSTEM  
DESIGN BY GES

1  
SITE PLAN  
1:1000

**LEGEND**

EXISTING SHEDS  
PROPOSED WORKS

**ORAMATIS STUDIO**  
214 Elizabeth Street, Hobart  
p: (03) 6286 8440  
e: admin@oramatis.com.au  
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Building Practitioner Accreditation: CC6540

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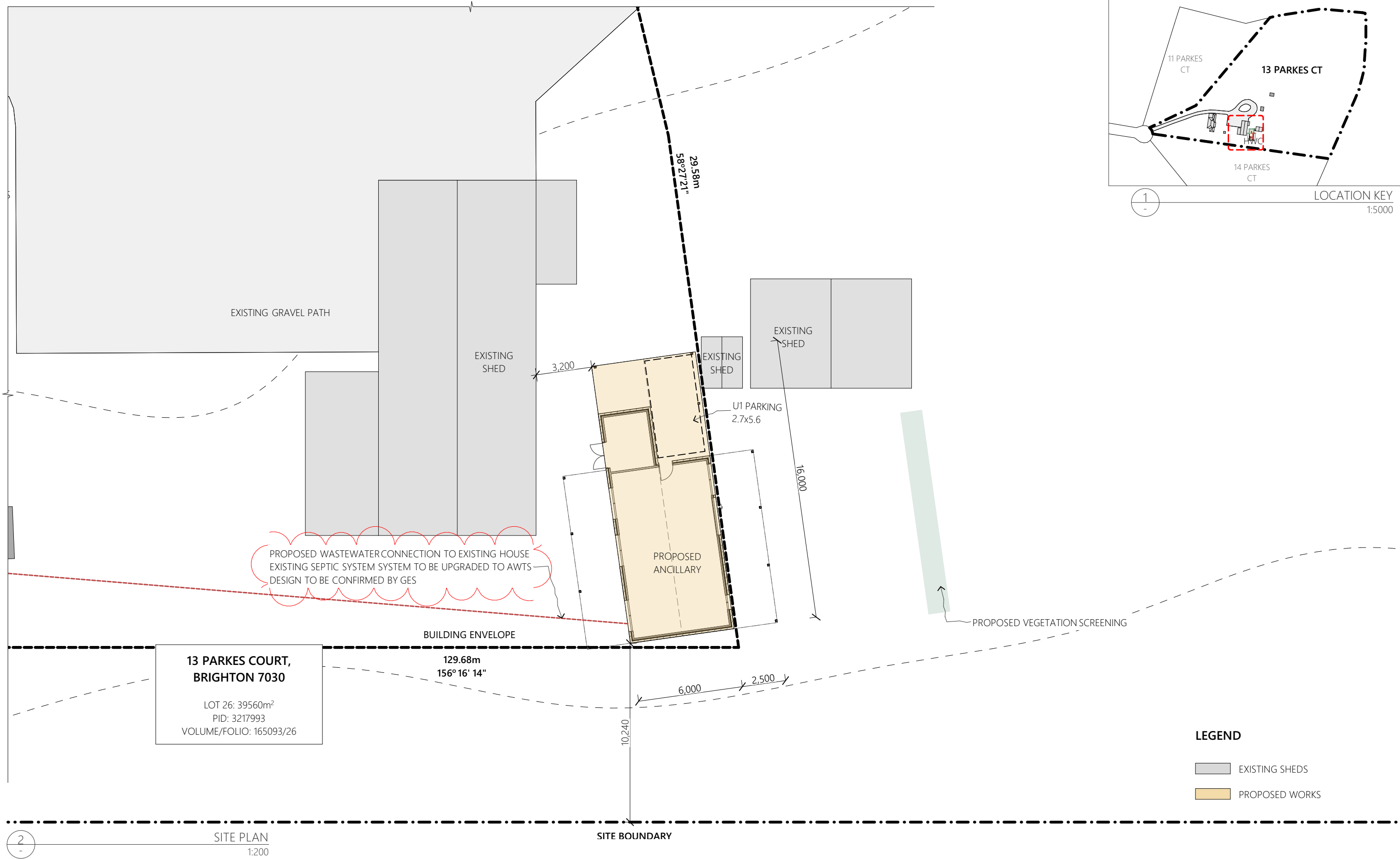
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J. LIM

**PAGE**  
DA02

**DRAWING**  
SITE PLAN

**NORTH**



**13 PARKES COURT,  
BRIGHTON 7030**

LOT 26: 39560m<sup>2</sup>  
PID: 3217993  
VOLUME/FOLIO: 165093/26

2 - SITE PLAN 1:200

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REV ID DESCRIPTION DATE

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PROJECT

PARKES COURT  
13 PARKES COURT, BRIGHTON 7030

CLIENT

JARYD COLLIDGE

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DATE

22/01/2025

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J. LIM

PAGE NORTH

DA03

DRAWING

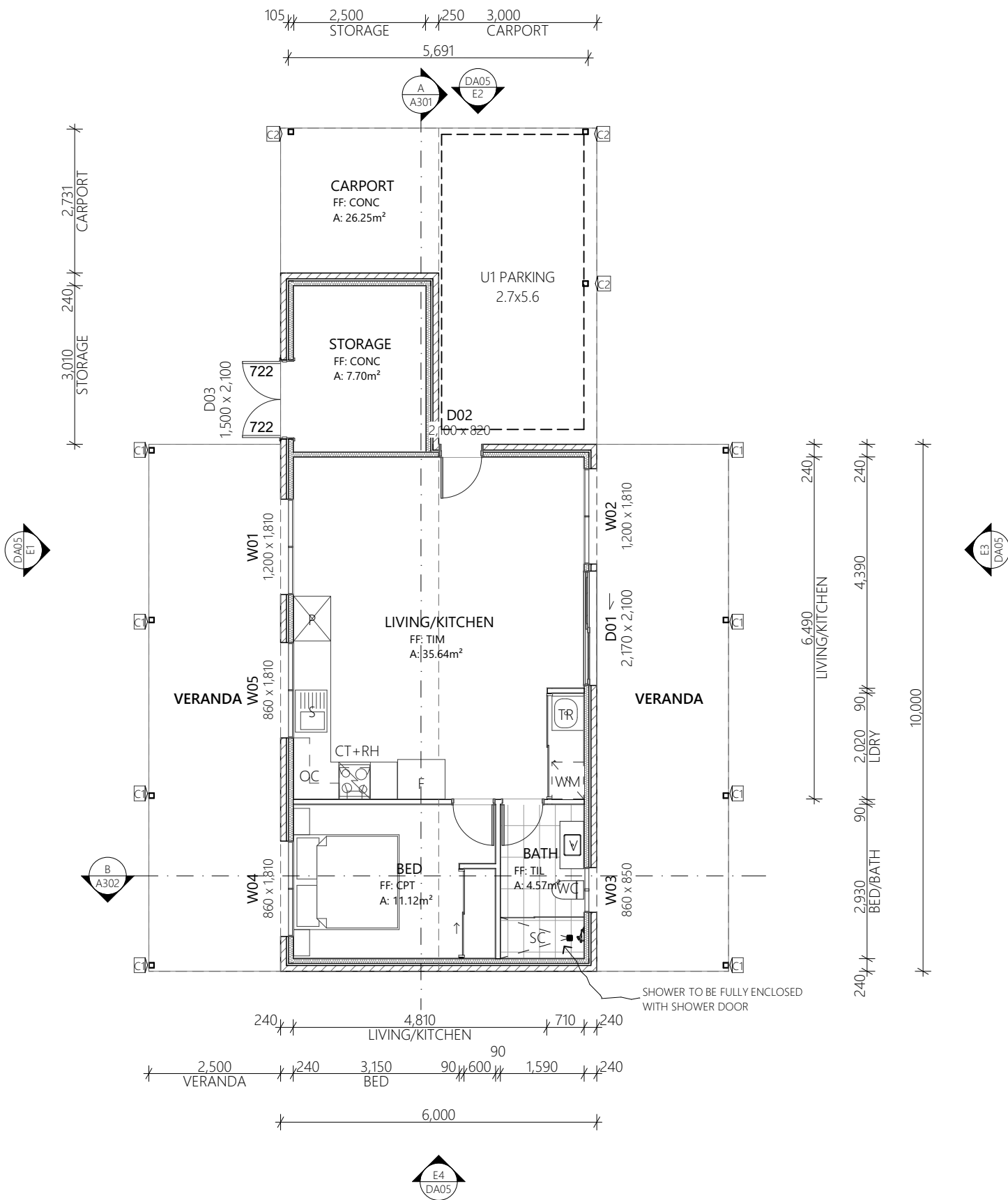
SITE PLAN

ORAMATIS STUDIO

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e: admin@oramatis.com.au  
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Building Practitioner Accreditation: CC6540







**NOTE**  
 ALL DIMENSIONS ARE TO THE WALL FRAME  
**AJ** MAX. SPACING 4000MM  
 NOTE: SOIL CLASS N#

**FLOOR PLAN LEGEND**

- CT** COOKTOP
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- TR** LAUNDRY TROUGH
- V** VANITY
- W** WASHING MACHINE

1

FLOOR PLAN  
 1:100

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**CLIENT**  
 JARYD COLLIDGE

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**DATE**  
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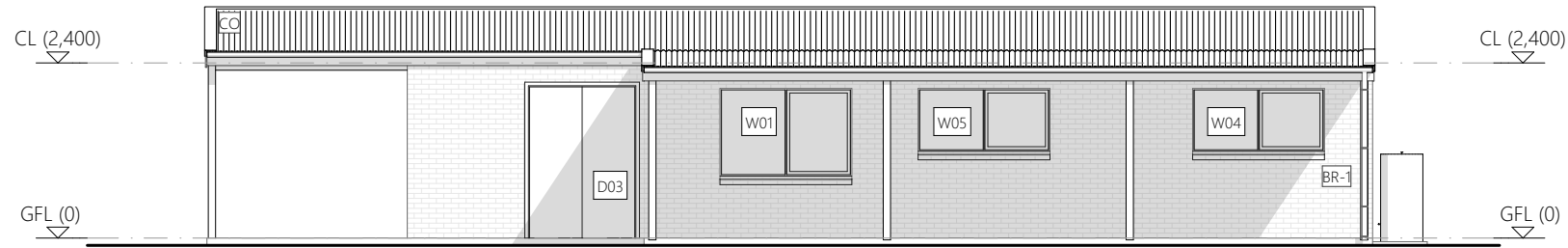
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 J. LIM

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 DA04

**DRAWING**  
 GROUND FLOOR PLAN

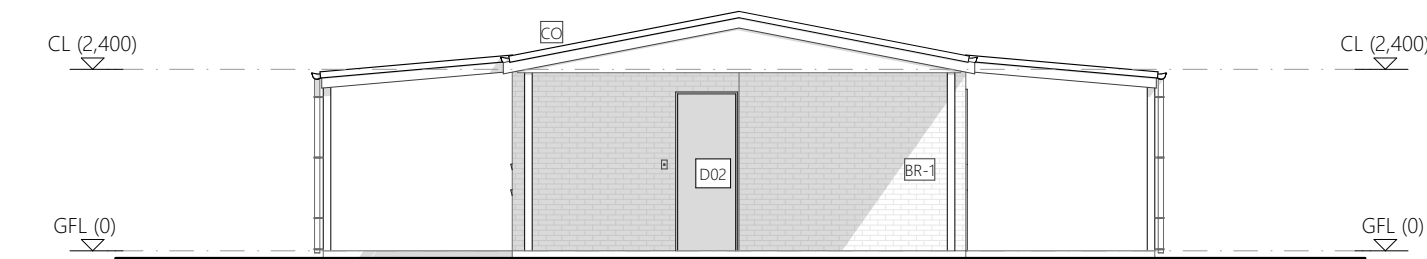
**NORTH**



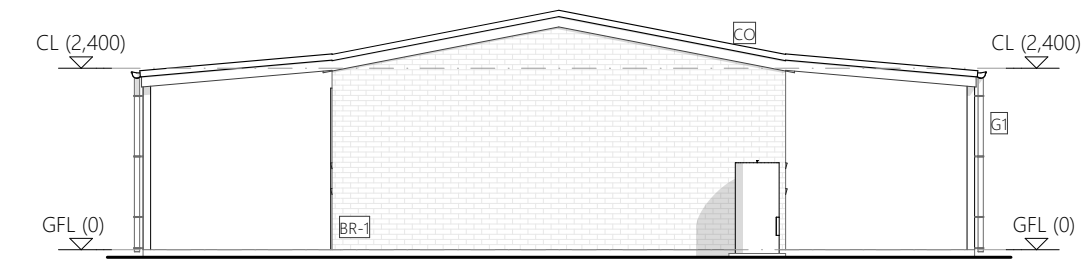
1  
-  
NORTH ELEVATION  
1:100



3  
-  
SOUTH ELEVATION  
1:100



2  
-  
EAST ELEVATION  
1:100



4  
-  
WEST ELEVATION  
1:100

**MATERIAL & FINISHES**

**ROOF**

- CO** COLORBOND CORRUGATED ROOF SHEET  
COLOUR: SURFMIST TBC
- G1** COLORBOND QUAD GUTTER TYP.  
COLOUR: TO MATCH ROOF
- D1** DOWNPIPES  
COLOUR: TO MATCH ROOF

**WALL**

- BR-1** BRICK VENEER WALL  
COLOUR: BRICK SELECTION TBC

**COLUMN**

- C1** TIMBER CLADDED COLUMN  
FINISH: 2 COATS PRE OILED
- C2** SHS COLUMN  
FINISH: POWDERCOAT

**NOTE:**

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

The General Manager, Brighton Council  
1 Tivoli Rd, Old Beach 7017  
development@brighton.tas.gov  
22/1/2025

RE: DA2025/002

The following additional information should be read in conjunction with the updated drawing set (22/1/2025) provided for 13 Parkes Court, Brighton.

**1. Onsite Drainage Plan:**

To meet the requirements of being defined as a secondary residence under the planning scheme, it has been decided the wastewater management system for the proposed residence will be shared with the existing dwelling as shown on the updated plans (*DA02/DA03*). The existing septic wastewater management system for the dwelling is to be removed and replaced with a new AWTs system; to be designed by Geo-Environmental Solutions to a capacity to accommodate both the existing and proposed dwellings.



The General Manager, Brighton Council  
1 Tivoli Rd, Old Beach 7017  
development@brighton.tas.gov  
21/1/2025

RE: DA2025/002

The following additional information should be read in conjunction with the updated drawing set provided for 13 Parkes Court, Brighton.

**~~1. Onsite Drainage Plan:~~**

~~An onsite drainage plan including wastewater management system design is to be supplied by Geo Environmental Solutions at the plumbing permit stage:~~

- ~~— Independent AWTS system for proposed ancillary dwelling~~
- ~~— Proposed location is as shown on plan (DA02/DA03), design and scale of system to be confirmed by GES at plumbing stage~~

**2. Site plan and building envelope relationship:**

The updated site plans (DA02/DA03) show the building envelope outline as detailed in the folio plan/schedule of easements and the finalised location for the footprint of the secondary dwelling internally in relation to the envelope. The class 10 veranda protrudes outside of the envelope, however we have assessed this structure to not constitute a breach of the schedule of easements.

**3. Setback to Agricultural zone:**

Clause 11.4.2 P4 requires that buildings for sensitive use must be sited so as to not conflict or interfere with uses in the Agriculture Zone or Rural Zone. The proposed site is within 200 meters of the Agriculture Zone, and this has been assessed considering the following criteria:

**A. Size, shape and topography of the site**

The proposed ancillary dwelling will be located on a site of sufficient size to provide an appropriate separation from existing agricultural operations to the South, with the provided elevation buffer of the adjacent railway combined with the prevailing wind occurring in the north west as seen in *Diagram 1.1* strongly helping to mitigate any effects of spray or biosolid spreading activity.

**B. The separation of any existing buildings for sensitive uses on adjoining properties**

The proposed dwelling maintains a reasonable separation distance from existing sensitive-use buildings on adjacent properties. It is unlikely for any sensitive-use building within 200 meters of the proposed location to be affected by its presence.

**C. Existing and potential use of adjoining properties**

the proposed location for the ancillary dwelling presents no further risk of interference with existing or future use of agricultural land than other existing adjacent dwellings of similar setback.

**D. Any proposed attenuation measures**

To mitigate the potential effects of agricultural activity on the adjacent property the proposed dwelling will incorporate placement of physical barriers such as vegetation screening, careful consideration of the sealing of building openings, use of double glazing and the use of high filtration efficiency filters in the air conditioning system in line with AS1324.2 and ISO 16890 ePM1.

**E. Any buffers created by natural or other features.**

Although the site lacks significant vegetation the existing sheds and intention to provide vegetation screening help to enhance the buffer to adjacent Agricultural land subject to spray and biosolid application.

**3.1**

Clause C9.5.2 specifies that sensitive use located within an attenuation area does not interfere with or constrain the operation of an existing activity listed in table C9.1 or C9.2, this clause has been assessed in regards to the following criteria:

**A. The nature of the activity with the potential to Cause Emissions Including operational characteristics of the activity, scale and intensity of the activity, and the degree of hazard or pollution that may be emitted from the activity.**

The agriculture activities on the adjoining property involve periodic spray irrigation and biosolids application, activities that have predictable emission patterns and combined with the location of the ancillary dwelling being upwind of these activities it allows for appropriate planning and mitigation to reduce the degree of hazard or pollution related to odour and potential spray drift.

**B. The nature of the sensitive use**

The proposed ancillary dwelling is intended as a single bedroom residence, limiting the degree of exposure with agricultural emissions

**C. the extent of encroachment by the sensitive use into the attenuation area**

The ancillary dwelling is located approximately 135m from the site boundary, as far away from the origin of the attenuation area as is possible so as not to interfere with ongoing agricultural operations.

**D. Measures in the design, layout and construction of the development for the sensitive use to eliminate, mitigate or manage effects of emissions of the activity**

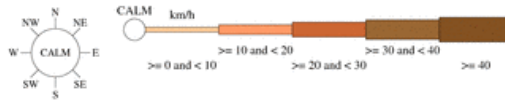
The design considerations previously mentioned in response 3.D along with consideration of the positioning and orientation of living areas to reduce the amount and size of openings towards agricultural land has been incorporated to reduce the effect of emissions, noise and odour on the sensitive use dwelling.

**E. Any advice from the director, Environment Protection Authority**

It may be necessary to seek advice from the director of the Environment Protection Authority.

**F. Any advice from the director of mines.**

There are no mining activities in the vicinity.



9 am  
21567 Total Observations

Calm 6%

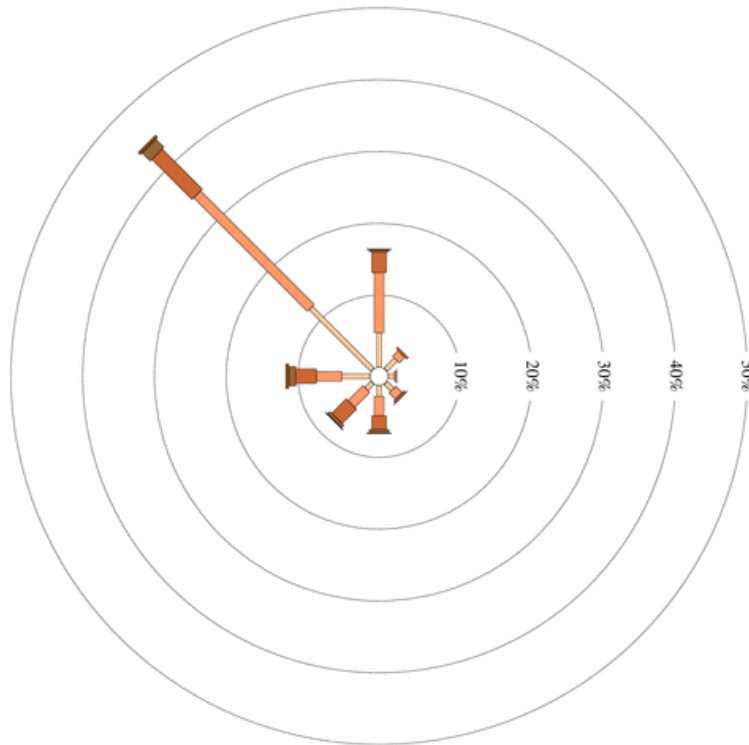


Diagram 1.1: Wind rose supplied by Bureau of Meteorology.

**4. Parking and sustainable transport code:**

- Code C2.5.1 A1 requires the number of parking spaces to be no less than the number specified in table C2.1
- Table C2.1 specifies for Residential use in any other zone (than General Residential) 1 space is required per bedroom or 2 spaces per 3 bedrooms + 1 visitor space for every 5 multiple dwellings or every 10 bedrooms for a non – dwelling residential use.

**5.**

- Code C2.6.1 A1 requires that all parking, access ways, manoeuvring and circulation spaces must: be constructed with a durable all weather pavement, be drained to the public stormwater system or contain stormwater on the site; and be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.

These parking requirements have been addressed on the updated 1:200 site plan (*DA03*) and 1:100 ground floor plan (*DA04*), which includes a parking plan outlining one permanent parking space as required for a single bedroom residence in accordance with C2.5.1 table C2.1 parking space requirements for residential use in any zone other than general residential. The parking space is to be of a covered type, constructed from a concrete surface with appropriate edge drainage and sharing stormwater management with the dwelling itself in accordance with C2.6.1 A1