



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/240

LOCATION OF AFFECTED AREA

296 TEA TREE ROAD, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING WITH INTERNAL DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **13/02/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

Garage hobby shed

PROJECT SPECIFIC

Gary & Samantha Sutcliffe
294 Tea Tree Road

Brighton

Tasmanian Planning Scheme
Title Reference : Vol 187572 / Folio 02

NCC DEEMED TO SATISFY Mr Marcus Ralph CC1317F
Climate Zone 7

Lot 02
title Reference 187572

1.05 Ha site area

Floor Plan

Proposed Garage	279.00 sqm
Total Proposed site cover	336.00 sqm
Site AREA	1.05 Ha
Site Coverage	33.00% (less)

SITE INFORMATION

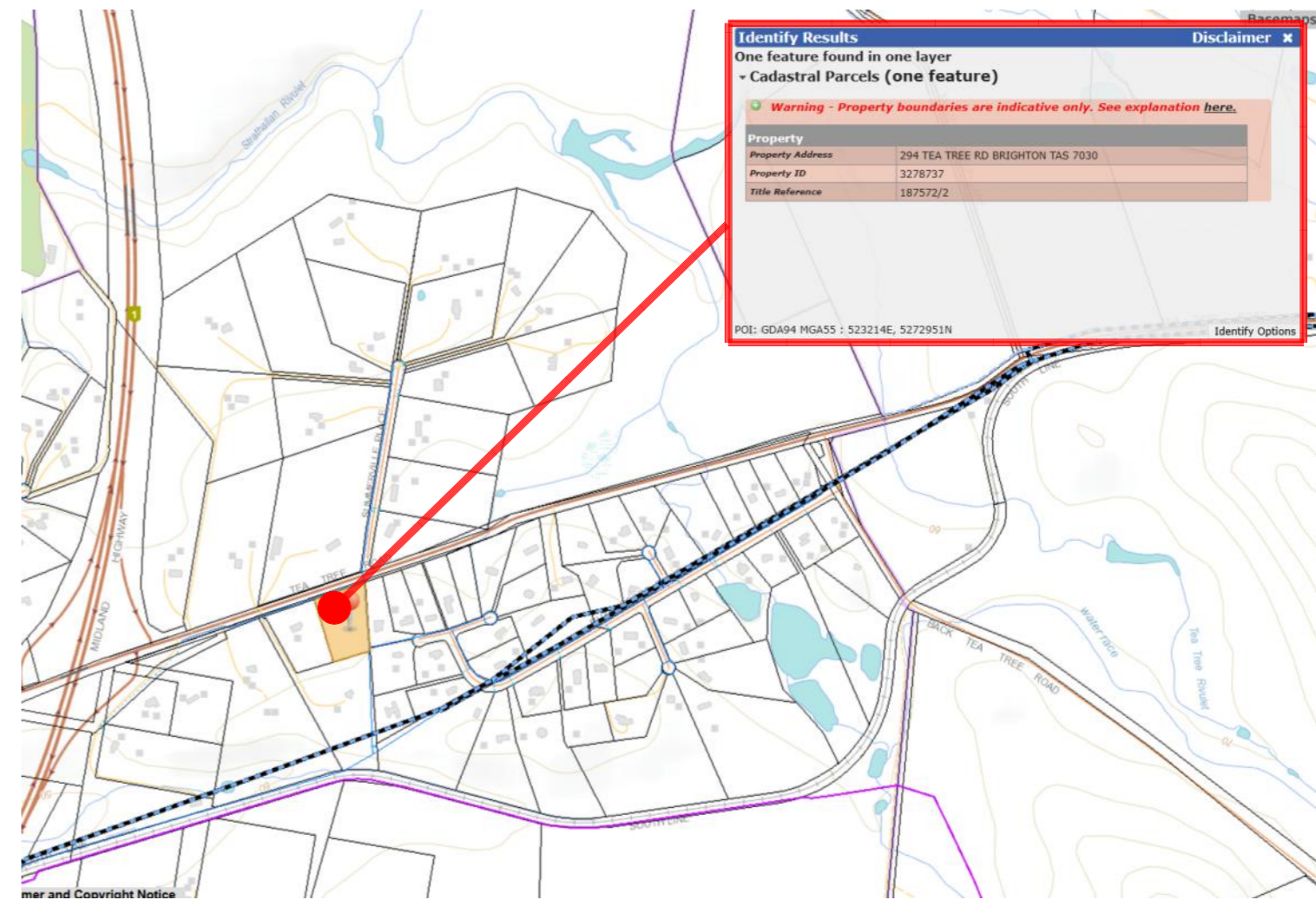
Lot: 02
Title: 187572 folio 02
Land Size: 1.001 Ha

Council: Brighton Council Tasmanian planning scheme
Zoning: 11 Rural Living

Overlays: 13.0 TAS-C13.0 Bushfire Prone Area .7.0 Natural Assets Code
Tas Veg 4.0 indicates modified land No priority Vegetation

D.A APPROVAL: Planning permit required
BAL: Refer to report by others if Required
WIND CLASSISIFCATION : Refer to Shed Tech certification
CLIMATE ZONE: 7
ENERGY RATING :Na
BUILDING CLASSISIFCATION: 10A

LAYOUT	DRAWING		UPDATED DATE
	ID	NAME	
1037-00 location information	6.	DRAWING LIST (1)	22/01/2025 5:34 PM
1037-01 Risk Register	0.	Floor Plan (64)	22/01/2025 5:34 PM
1037-02 Site Location	0.	Floor Plan (65)	22/01/2025 5:33 PM
1037-03 Site Plan	0.	Floor Plan (58)	22/01/2025 5:33 PM
1037-04 Part Site Plan	0.	Floor Plan (58)	22/01/2025 5:33 PM
1037-05 Plumbing Site Plan	0.	Floor Plan (60)	22/01/2025 5:33 PM
1037-05 Plumbing Site Plan	0.	Floor Plan (60)	22/01/2025 5:33 PM
1037-05 Plumbing Site Plan	0.	Floor Plan (60)	22/01/2025 5:33 PM
1037-06 Floor Plan	0.	Floor Plan (54)	22/01/2025 5:34 PM
1037-07 Elevations	0.	Floor Plan (62)	22/01/2025 5:34 PM
1037-08 Elevations	0.	Floor Plan (63)	22/01/2025 5:34 PM
1037-09 Site Access	0.	Floor Plan (66)	22/01/2025 5:31 PM



PROPERTY IDENTIFICATION



Service over and above

MARCUSRALPH

Design -architectural animation

Building designer accreditation CC1317F

13 Franklin street

Richmond, Tasmania 7025

0409 975 825 mob

e: marcusralph@bigpond.com

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Garage hobby shed

Gary & Samantha Sutcliffe

294 Tea Tree Road

Brighton

location information

date

26/03/2024

designed and drawn

revision-date

M.Ralph Design Drawing

job no: drawing no:

2024-1037 1037-00

ACTIVITY /PROCESS	POTENTIAL HAZZARD	(S)	(L)	(R)	PRINCIPLE OF AVOIDING / REDUCING RISK	ACTION ON REMAINING AREAS OF RISK
SITE LAYOUT						
SITE ACCESS / TRAFFIC	IMPACT BY MOVING VEHICLES OR PLANT	H	M	3	OPERATE TRAFFIC MANAGEMENT PLAN WITH BANKSMEN ECT.	CONTRACTOR TO DEFINE WORK AREAS AND WORK SEQUENCE THE ENTRY , EXIT ANDACCESS WAYS IN THEWORKPLACE ARE KEPT CLEAN AND CLEAR OF MATERIAL AND WASTE
SITE ADJACENT WATER/ SWIMMING POOL	DROWNING	H	L	2	BARRICADE ALL AREAS OF WATER	CONTRACTOR TO PREPARE METHOD STATEMENT IF WORKING ABOVE WATER
EXISTING SERVICES ABOVE GROUND ,(IE ELECTRICAL)	ELECTRICAL SHOCK FROM OVERHEAD LINES	H	L	2	CLEARLY IDENTIFY EXCLUSION ZONES AND APPROACH DISTANCES FROM OVERHEAD SERVICES	CONTRACTOR TO DEFINE WORKING AREAS AND ENFORCE EXCLUSION ZONES / APPROACH DISTANCES
UNSTABLE RETAINING WALLS	FAILURE / COLLAPSE OF RETAINING WALL	H	L	2	PROVIDE DESIGN RESTRICTIONS ON NEW RETAINING WALLS DO NOT APPLY EXTRA LOAD TO EXISTING RETAINING WALLS (IE EXTRA MATERIAL OR CONSTRUCTION VEHICLES BEHIND WALL ECT.)	CONTRACTOR TO CONTACT QUALIFIED ENGINEER IF UNSURE
DEMOLITION						
UNSTABLE STRUCTURE	FAILURE / COLLAPSE OF STRUCTURE	H	L	2	CONTRACTOR TO PROVIDE TEMPORY SUPPORT AND CONTACT QUALIFIED ENGINEER IF UNSURE	CONTRACTOR TO PREPARE METHOD STATEMENT
DANGEROUS MATERIALS / SUBSTANCES						
ASBESTOS	INHALATION OF ASBESTOS FIBRE OR MATERIALS CONTAINING ASBESTOS	H	L	2	CONTRACTOR TO USE LICENSED REMOVALIST	NO WORK TO BE CARRIED OUT UNTIL ASBESTOS HAS BEEN REMOVED
CHEMICAL / EXPOSURE	INHALATION OF DANGEROUS CHEMICAL OR EXPLOSION	H	L	2	AVOID USING DANGEROUS CHEMICAL OR EXPLOSIVES ON SITE	CONTRACTOR TO PREPARE METHOD STATEMENT IF CHEMICALS / EXPLOSIVES ARE SPRESENT ON SITE STORE IN A SAFE AREA
EXCAVATION						
EXCAVATION GENERALLY	HITTING EXISTIGN BURRIED SERVICES OR STRUCTURE	H	M	3	DIAL BEFORE YOU DIG PLAN BUILD TASMANIA IDENTIFY AND ISOLATE EXISTIGN BELOW GROUND SERVICES	CONTRACTOR TO CONTACT 'DIAL BEFORE YOU DIG'. CONTRACTOR TO CAT SCAN BEFORE DIGGING WITH DUE CARE.
DEEP EXCAVATION	INSTABILITY OF EXCAVATIONS OR COLLAPSE	H	M	3	OBTAIN AND EVALUATE DATA ON EXISTING GROUND CONDITIONS. DO NOT ENTER EXCAVATIONS DEEPER THAN 1.2m UNLESS PROPPED. MINIMISE EXCAVATION, NUMBER OF OPERATIONS AND TIME REQUIRED BELOW GROUND.	CONTRACTOR TO PREPARE METHOD STATEMENT. CONTRACTOR TO PROVIDE SHORING TO EXCAVATIONS AS NECESSARY TO PREVENT SIDES FROM COLLAPSING.
EARTH MOVING	GROUND CONTAMINATION	M	M	2	OBTAIN AND EVALUATE DATA ON EXISTING GROUND CONDITIONS.	CONTRACTOR PROVIDED WITH APPROPRIATE DATA ON GROUND CONDITIONS, I.E. SITE INVESTIGATION REPORT
EXCAVATION NEAR EXISTING STRUCTURE	INSTABILITY OF STRUCTURE/EXCAVATIONS	H	L	2	DO NOT DIG BELOW EXISTING FOOTING LEVEL OR UNDER 45 DEGREE LINE FROM UNDERSIDE OF EXISTING FOOTING WITHOUT PERMISSION FROM QUALIFIED ENGINEER	CONTRACTOR TO PREPARE METHOD STATEMENT
AUGURING	FALLS INTO OPEN BORES	M	M	2	CONCRETE OPEN BORES AS SOON AS POSSIBLE	AVOID PROLONGED OPENING OF BORES. PROTECT OPEN BORES.
WORKING IN CONFINED SPACE	LACK OF OXYGEN/IGNITION OF FLAMMABLE CONTAMINANTS	H	L	2	AVOID ENTERING CONFINED SPACE/ ONLY TRAINED WORKERS TO ENTER CONFINED SPACE.	CONTRACTOR TO PREPARE METHOD STATEMENT
CONSTRUCTION						
PRECAST CONCRETE ELEMENTS	INSTABILITY OF TEMPORARY STRUCTURE	H	L	2	ALL PRECAST ELEMENTS TO BE TEMPORARILY FOUNDED AND SUPPORTED UNTIL PERMANENTLY SECURED AS SPECIFIED IN DESIGN DOCUMENTATION	CONTRACTOR TO PREPARE TEMPORARY WORKS DESIGN AND METHOD STATEMENT
FALLING FROM HEIGHT	FALLS FROM GREATER THAN 2m	H	M	3	CONTRACTOR TO COMPLETE WORKS FROM GROUND LEVEL IF POSSIBLE. CONTRACTOR TO USE PASSIVE FALL PREVENTION DEVICE IF POSSIBLE (I.E. FIXED PLATFORM, CHERRY PICKERS ETC.)	WORKER TO USE FALL ARREST HARNESS SYSTEM
TEMPORARY SUPPORT	FAILURE/COLLAPSE OF STRUCTURE	H	M	3	CONTRACTOR TO SUPPLY TEMPORARY SUPPORT/BRACING TO STRUCTURE AND CONTACT QUALIFIED ENGINEER IF UNSURE	CONTRACTOR TO PREPARE METHOD STATEMENT
UNSTABLE STRUCTURE	COLLAPSE CAUSED BY CONSTRUCTION LOADS	H	L	2	PROVIDE INFORMATION ON LOAD ALLOWANCE FOR CONTRACTOR TO DESIGN BACK PROPPING	CONTRACTOR TO MAINTAIN BACK PROPS FOR SUFFICIENT TIME
LIFTING EQUIPMENT	LARGE/HEAVY OBJECTS FALLING FROM HEIGHT	H	L	2	ALL LIFT EQUIPMENT TO BE STAMPED WITH SAFE WORKING LOAD AND CERTIFICATES KEPT UP TO DATE	ONLY LIFT ITEMS WITHIN SAFE WORKING LOAD OF LIFTING EQUIPMENT
CRANES	INSTABILITY DURING OPERATION	H	L	2	AVOID SPECIFYING UNUSUALLY LARGE OR UNUSUALLY SHAPED ITEMS WHERE POSSIBLE. DO NOT SET UP CRANE IN CLOSE PROXIMITY OF BASEMENT/EXISTING SERVICES UNDERGROUND	CONTRACTOR TO PREPARE METHOD STATEMENT

CONSTRUCTION RISK ASSESSMENT

THIS CONSTRUCTION RISK ASSESSMENT IS TO HIGHLIGHT TO THE BUILDER, SUB CONTRACTORS AND SUB CONSULTANTS THE MAIN RICK FACTORS IN UNDERTAKING THE CONSTRUCTION OF THE WORKS TO WHICH THESE NOTES FORM PART OF THE WORKING DRAWINGS.

THIS ASSESSMENT IN NOT EXHAUSTIVE AND THE BUILDER IS TO UNDERTAKE THEIR OWN SIMILAR ASSESSMENT AND MAINTAIN APPROPRIATE RISK MANAGEMENT ACTIVITIES FOR THE DURATION OF THE CONSTRUCTION PERIOD.

IT IS THE BUILDER RESPONSIBILITY TO ENSURE ALL PERSONNEL THAT ENTER THE CONSTRUCTION SITE ARE BRIEFED ON THE SPECIFIC SAFETY HAZARDS AND RISKS ASSOCIATED WITH THE DAILY ACTIVITIES.

WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT WORK AND WORK AND HEALTH SAFETY REQUIREMENTS. THIS SITE SPECIFIC RISK ASSESSMENT ASSIGNS A RISK RATING ACCORDING TO THE FOLLOWING MATRIX. THIS ASSIGNS THE MAIN CONSTRUCTION TASK A LIKELIHOOD (L), SEVERITY (S) AND RESULTING RISK RATING (R).

MARCUS RALPH DESIGN HAS TO THE BEST OF THEIR ABILITY, UNDERTAKEN TO IDENTIFY POTENTIAL CONSTRUCTION HAZARDS AND MINIMIZE THE RISK POTENTIAL TO THOSE INVOLVED WITH THE CONSTRUCTION OF THESE WORKS.

RISK RATING (R)

3- HIGH RISK ACTION REQUIRED BY CONTRACTOR TO MITIGATE OR ELIMINATE RISK

2- MEDIUM RISK ACTION REQUIRED BY CONTRACTOR TO REDUCE RISK

1 - LOW RISK NO DIRECT ACTION REQUIRED BY THE CONTRACTOR

RISK RATING CALCULATOR		SEVERITY (S)			
		H	M	L	
LIKELIHOOD (L)	H	FATALITY, MAJOR INJURY CAUSING LONG TERM DISABILITY	INJURY OR ILLNESS CAUSING SHORT TERM DISABILITY	OTHER INJURY OF ILLNESS	
	CERTAIN OR NEAR CERTAIN	1	1	2	
	REASONABLY LIKELY	1	2	3	
VERY SELDOM	2	3	3		



Service over and above

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Garage hobby shed

Gary & Samantha Sutcliffe

294 Tea Tree Road

Brighton

Risk Register

date

26/03/2024

designed and drawn

revision-date

M.Ralph

Design Drawing

job no:

drawing no:

2024-1037

1037-01



Lot 02
 title Reference 187572
 1.05 Ha site area

Floor Plan	
Proposed Garage	279.00 sqm
Total Proposed site cover	336.00 sqm
Site AREA	1.05 Ha
Site Coverage	33.00% (less)

Site Plan
 scale 1:5000



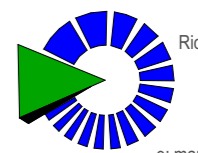
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Garage hobby shed

Gary & Samantha Sutcliffe
 294 Tea Tree Road
 Brighton

Site Location



date

26/03/2024

designed and drawn

M.Ralph

job no:

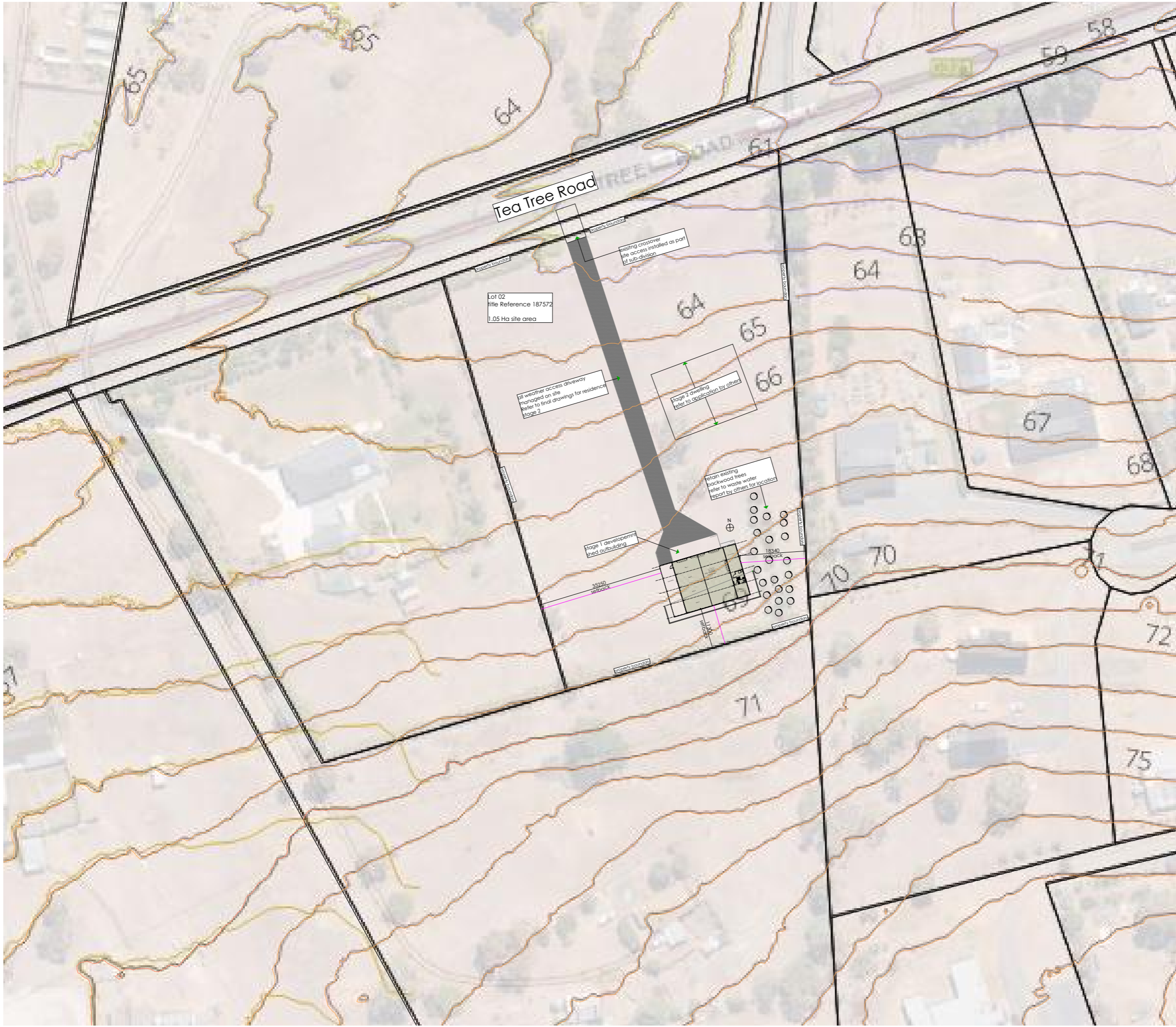
2024-1037

revision-date

Design Drawing

drawing no:

1037-02



Lot 02
title Reference 187572
1.05 Ha site area

Lot 02
title Reference 187572
1.05 Ha site area

Floor Plan	
Proposed Garage	279.00 sqm
Total Proposed site cover	336.00 sqm
Site AREA	1.05 Ha
Site Coverage	33.00% (less)

Site Plan
scale 1:1000



Service over and above
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Garage hobby shed
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294 Tea Tree Road
Brighton

Site Plan	
date	26/03/2024
designed and drawn	revision-date
M.Ralph	Design Drawing
job no:	drawing no:
2024-1037	1037-03



Lot 02
title Reference 187572
1.05 Ha site area

Floor Plan	
Proposed Garage	279.00 sqm
Total Proposed site cover	336.00 sqm
Site AREA	1.05 Ha
Site Coverage	33.00% (less)

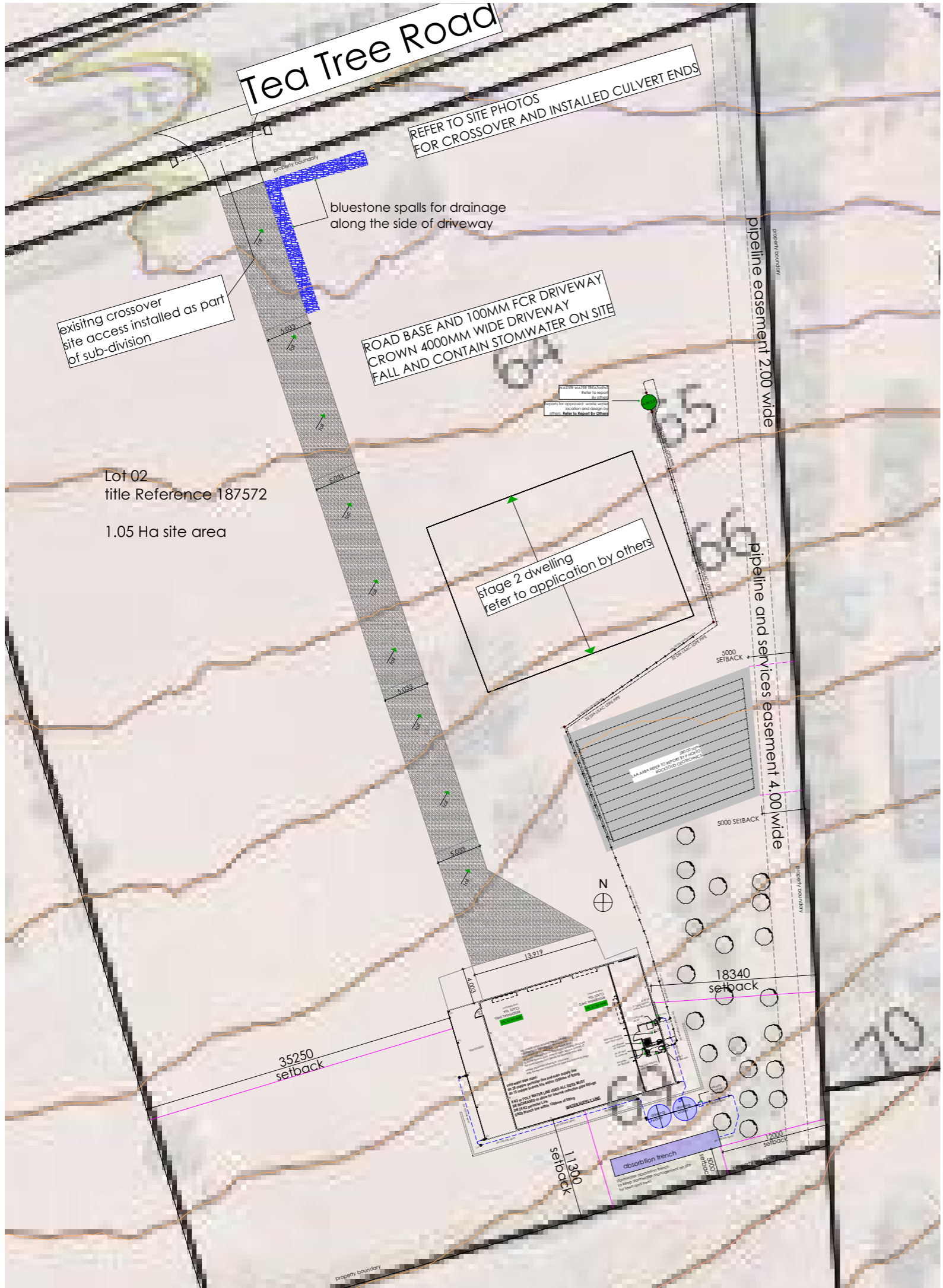
Site Plan
scale 1:500



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294 Tea Tree Road
Brighton

Part Site Plan	
date	26/03/2024
designed and drawn	revision-date
M.Ralph	Design Drawing
job no:	drawing no:
2024-1037	1037-04



Plumbing Site Plan
scale 1:500



Plumbing Site Plan
scale 1:1000



Service over and above

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Garage hobby shed

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Brighton

Plumbing Site Plan

date

26/03/2024

designed and drawn revision-date

M.Ralph Design Drawing

job no: drawing no:

2024-1037 **1037-05**

PLUMBING LAYOUT

SCALE 1:100

Sewer and Stormwater lines are to be run along the underside concrete floor within compacted FCR. When under a concrete slab or timber floor installation will comply with AS3500. Refer to roof plan for fixing requirements of down pipes. Connection to council main or treatment plant will be inspected and approved by Local council inspectors.

- PIPE SIZES RECOMENDED
PLUMBING LEGEND:
1. wc dn100
 2. urinal dn40,50
 3. sink dn50,
 4. basin dn40,dn50
 - 5 bath dn40, dn50
 6. shower dn50, dn 65 recommended
 7. trough dn40,dn50,dn65 or dn100

fwg floor waste gully primed by basin ,sink or trough dn 50 or from which fixture size is priming.

soil classification requires the plumbing contractor to take necessary measures to prevent UPVC AND PVC pipework and all water connection to new rigid building structure to have flexible joint. refer to csiro advice and NCC for pipe connection details for reactive clay soils

LEGEND

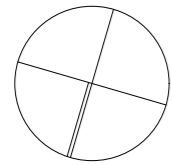
- smoke detector hard wired to electrical system
- ⊕ extractor fan with heating elements optional
- DP downpipe
- AJ articulation joint

METER BOX meter box

LEGEND:

- dw - dishwasher
- hp - hot plates
- ubo - under bench oven
- wo - wall oven bank
- sink - stainless kitchen sink
- sh - shower
- bth - bath
- wc - toilet
- spa - spa bath
- vb - vanity basin
- tr - laundry trough
- wm - washing machine
- mh - manhole
- ds or shs-structural support

820 door door width

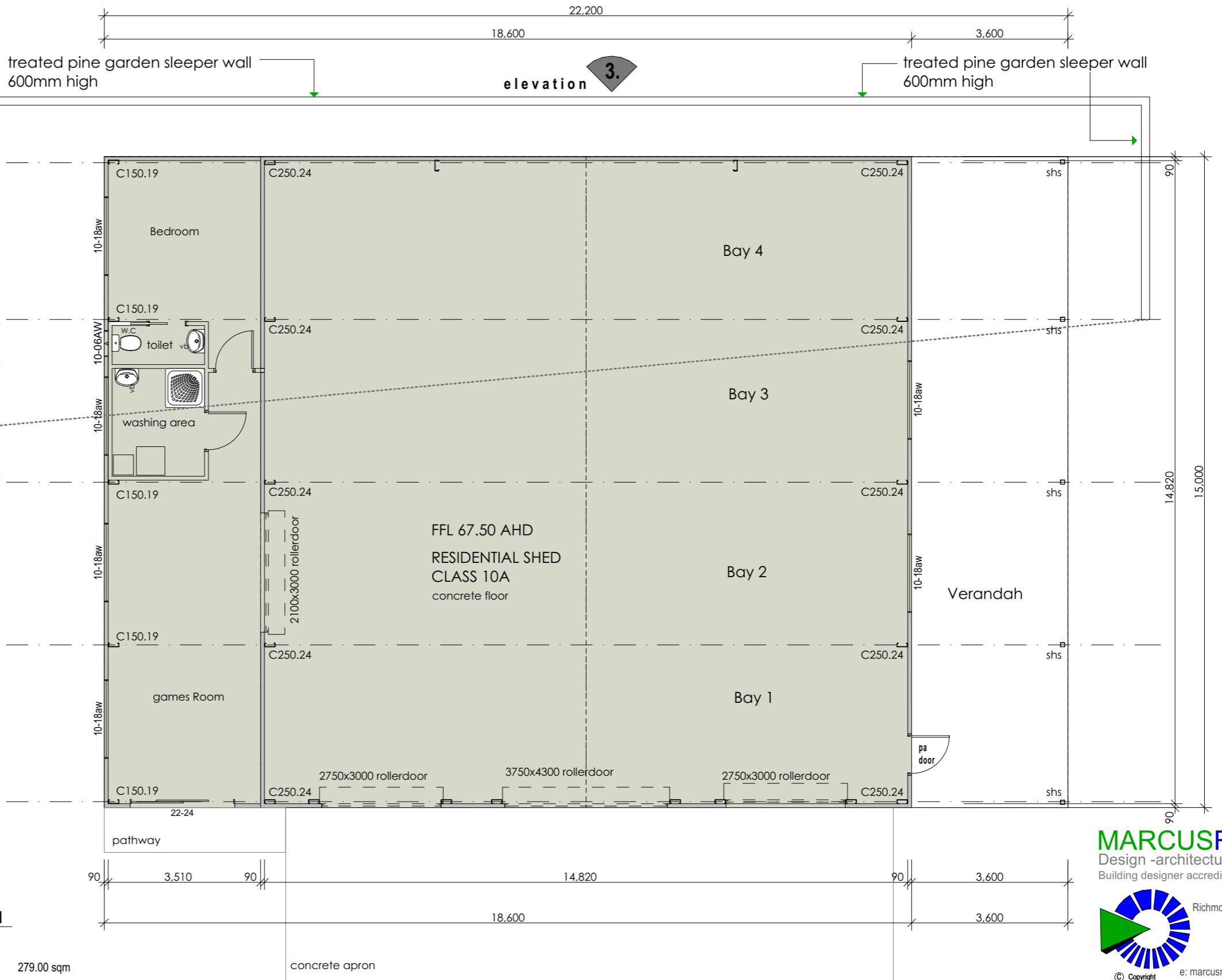


N

elevation 2.

FLOOR PLAN

Proposed Garage	279.00 sqm
Total Proposed site cover	336.00 sqm
Site AREA	1.05 Ha
Site Coverage	33.00% (less)



elevation 1.

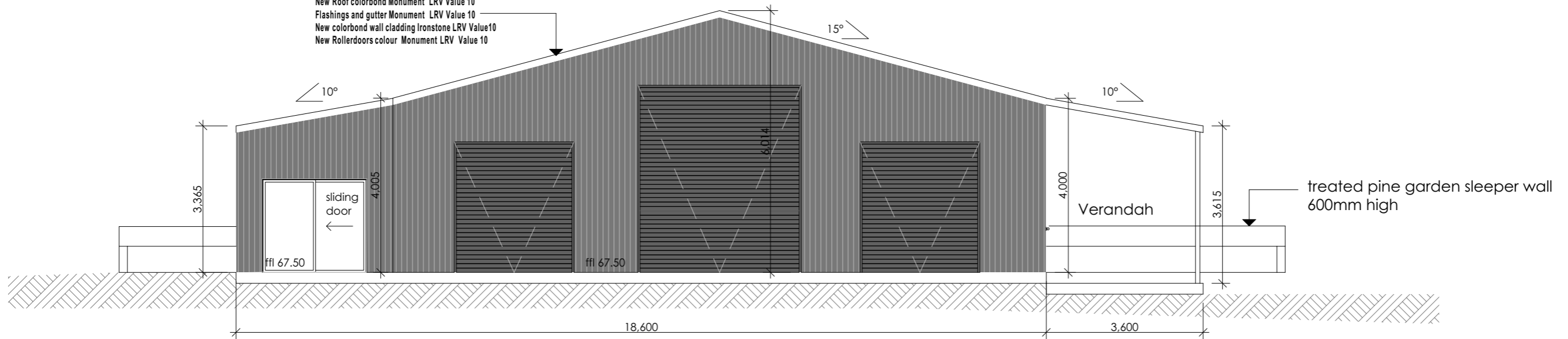
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Garage hobby shed
Gary & Samantha Sutcliffe
294 Tea Tree Road
Brighton

Floor Plan	
date	26/03/2024
designed and drawn	revision-date
M.Ralph	Design Drawing
job no:	drawing no:
2024-1037	1037-06

Proposed colours

- New Roof colorbond Monument LRV Value 10
- Flashings and gutter Monument LRV Value 10
- New colorbond wall cladding Ironstone LRV Value 10
- New Rollerdoors colour Monument LRV Value 10



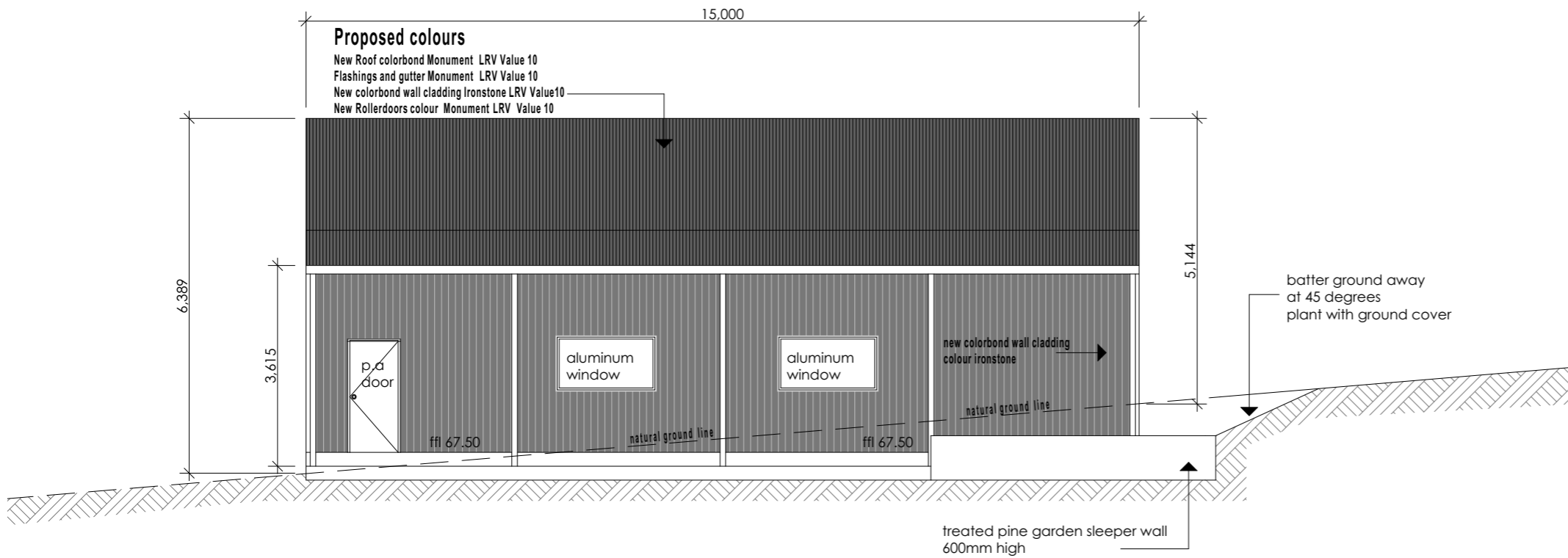
ELEVATION 01

NORTH ELEVATION

scale 1:100

Proposed colours

- New Roof colorbond Monument LRV Value 10
- Flashings and gutter Monument LRV Value 10
- New colorbond wall cladding Ironstone LRV Value 10
- New Rollerdoors colour Monument LRV Value 10



ELEVATION 04

WEST ELEVATION

scale 1:100



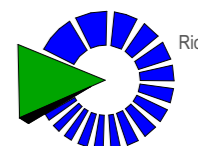
Service over and above

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Brighton

Elevations



date

26/03/2024

designed and drawn

revision-date

M.Ralph

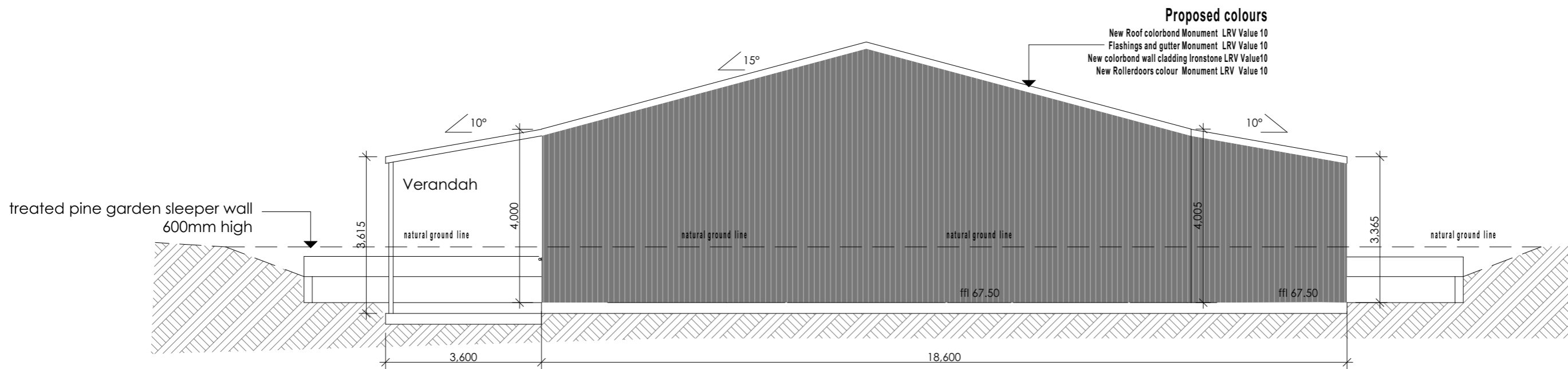
Design Drawing

job no:

drawing no:

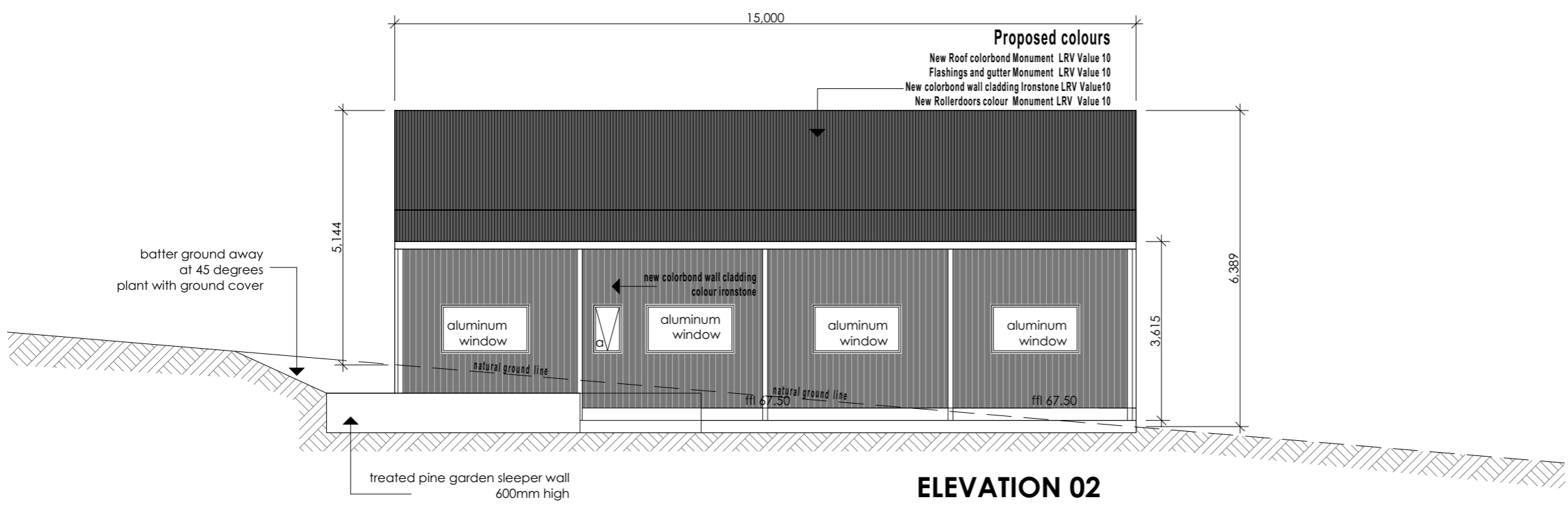
2024-1037

1037-07



Proposed colours
 New Roof colorbond Monument LRV Value 10
 Flashings and gutter Monument LRV Value 10
 New colorbond wall cladding Ironstone LRV Value 10
 New Rollerdoors colour Monument LRV Value 10

ELEVATION 03
 SOUTH ELEVATION
 scale 1:100



ELEVATION 02
 EAST ELEVATION
 scale 1:100



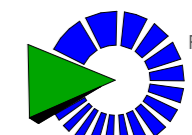
Service over and above

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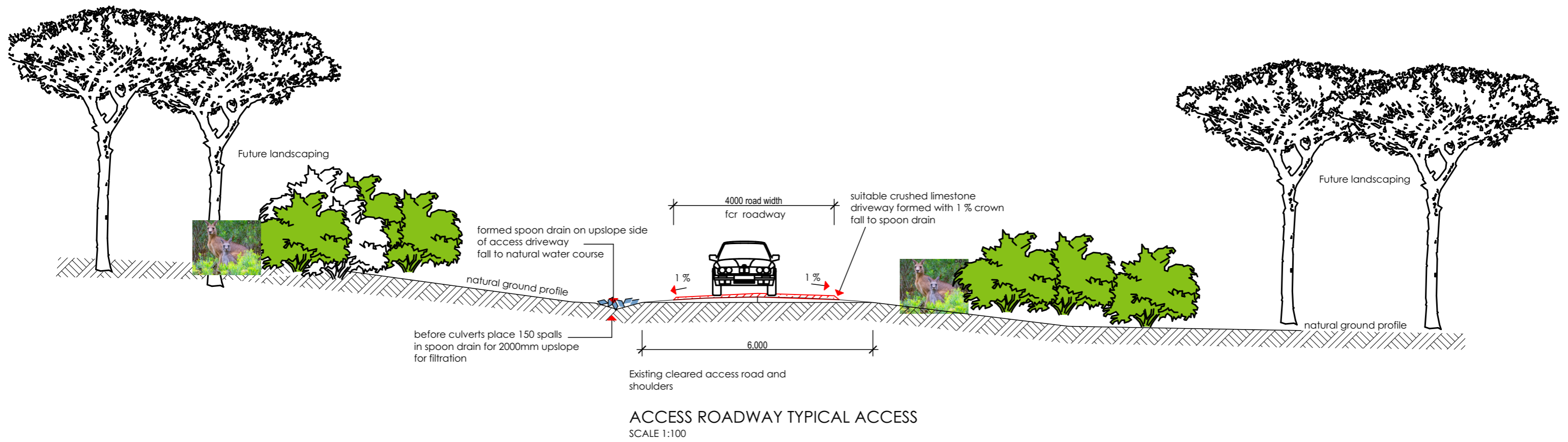
e: marcusralph@bigpond.com

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Elevations

date	
26/03/2024	
designed and drawn	revision-date
M.Ralph	Design Drawing
job no:	drawing no:
2024-1037	1037-08



site access installed

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 Brighton

Site Access

date	
26/03/2024	
designed and drawn	revision-date
M.Ralph	Design Drawing
job no:	drawing no:
2024-1037	1037-09

Department of State Growth

Salamanca Building Parliament Square
4 Salamanca Place, Hobart TAS
GPO Box 536, Hobart TAS 7001 Australia
Email permits@stategrowth.tas.gov.au Web www.stategrowth.tas.gov.au



Frank & Jennifer Wessing

By email: [REDACTED]

Dear Frank & Jennifer Wessing

Access Works Permit SRA-23-492 – 294 Tea Tree Road Brighton

This permit is issued in accordance with the provisions of the *Roads and Jetties Act 1935*, Section 16. The permit authorises the permit holder and their contractor, or agent, to carry out the works described, subject to the conditions specified.

Permit Holder:	Jennifer Gaye Wessing and Frank Wessing	Contact Number:	[REDACTED]
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Please note that this permit only gives you authority to undertake works in the State road reservation. It does not indicate the Department's support or otherwise for your intended use of the access. The Department reserves the right to make representation to the Brighton Council about any proposed future development of the land, including recommending additional conditions in relation to the access arrangements.

Please also note that Section 16 of the *Roads and Jetties Act 1935* provides that, once this access has been constructed, the property owner becomes responsible for the maintenance and repair of the whole of the access from their property to the State road pavement.

You must give us notice fourteen (14) days' before starting any work in the State road reservation. **This permit is not valid until this notification is received by us.** You also need to advise us when you have finished work in the State road reservation.

Please read the permit carefully and note:

- **Failure to comply with all the conditions could result in you being liable for the cost of rectification works.**
- **Once you have started work you will be deemed to have accepted all the permit conditions.**

Road name / location description:	294 Tea Tree Secondary Road				
Road No.:	A2289	Link / Chainage:	6/0.67	Category:	Regional Freight

DESCRIPTION OF WORKS: Construct a new access.

A SPECIAL CONDITIONS OF PERMIT

1. NIL

B GENERAL CONDITIONS

1. Scope of works:

This permit is valid for works as described above and as shown in your application. A new permit will be required if the nature, scope or location of works changes – in this event, please speak to the Contact Officer (see 14).

2. Commencement of Works:

- a. The permit holder is responsible for notifying the Department in writing fourteen (14) days before commencing any work in the State road reservation.
- b. The *'Notice of Intention to Commence Works and Acceptance of Conditions'* form must be used to notify the Department.
- c. This permit is not valid until such notice has been received by the Department.

3. Completion of Works:

- a. The permit holder is responsible for notifying the Department within fourteen (14) days of the completion of the works associated with the permit.
- b. The *'Notice of Completion of Works'* form must be used to notify the Department.

4. Validity Period:

- a. Works must commence within twelve (12) months from the date of permit issue and must be completed within twelve (12) months from the date of commencement of works.
- b. If works have not commenced or completed within the timeframes specified above, a permit extension or a new permit will be required – in this event, please contact the Department by email to permits@stategrowth.tas.gov.au.

5. Costs:

The permit holder is responsible for all costs for the works, including any alterations required by the Department, or repair of any damage to road pavement, shoulder, verge, drainage or other structures caused by the works, or in the carrying out of the works.

6. Construction standards:

- a. The access must be sealed from the edge of the sealed road pavement to the boundary of the State road reservation.
- b. The culvert must have driveable headwalls in accordance with the Department's standard drawing 3402-2/P35-2 or similar product approved for use by VicRoads. In all other respects, construction must be to the

minimum standard specified by the Department's standard drawing for geometric requirements: Access – sealed shoulder (without kerb) (copy attached).

- c. Guide posts are to be installed either side of the access

7. Services:

The permit holder is responsible for locating all services prior to starting works and will be liable for any costs, claims, proceedings and demands in the event of damage to any services as a result of these works.

8. Other approvals:

The permit holder is responsible for obtaining any other required approvals from other relevant authorities, including any environmental permits or clearances that may be required under any applicable legislation or State policy. The permit holder is liable for any compliance failure.

9. Traffic management:

The permit holder is responsible for ensuring adequate and appropriate traffic management at the work site. Traffic management plans must comply with all relevant standards, specifications and guidelines with reference to the Tasmanian Guide to Traffic Control for Works on Roads. Traffic control must be undertaken by personnel appropriately trained and accredited traffic control implementation. All works within the road reservation must also comply with all relevant Work Health and Safety legislation. If you have any queries, please speak to the Contact Officer (see I4).

10. Management of worksite:

- a. The permit holder is responsible for maintaining the worksite during works, especially for ensuring that the carriageway is kept clean and tidy and free of debris. The permit holder is responsible for any claims from the public arising from debris from the works tracked over the State road pavement.
- b. The permit holder is responsible for ensuring that the area is left in a neat and tidy condition at the completion of works, with any spoil or excess materials to be removed from the site.

11. Inspection of works:

- a. The Department reserves the right to inspect the worksite at any time during construction to ensure compliance with these conditions. The permit holder will be responsible for the costs for any changes required to bring the works into compliance with these conditions.
- b. The Department will conduct a completion inspection to ensure that the works comply with these conditions. The permit holder will be responsible for the cost of any required changes or repairs identified during final inspection.

12. Indemnification:

The permit holder will save and keep indemnified the Crown in the right of the State of Tasmania against all or any costs, claims, proceedings and demands whatsoever and by whomsoever arising out of or in respect of the works undertaken in the State road reservation.

13. Acceptance of conditions:

Commencement of work is deemed acceptance of these conditions. Failure to comply with all these conditions may result in the permit holder being liable for the cost of rectification works.

14. Contact officers:

If you have any questions about your permit conditions or would like to clarify what a condition means, please contact Traffic Engineering Officer, Sam Volker on 0447 827 883.

If you have any questions in relation to the construction of the access, please contact Network Supervisor, Steve McQueen on 0499 973 604 before commencing works.

C ADDITIONAL INFORMATION

1. Incomplete Works

This permit is valid for works as described above and as shown in your application. A new permit will be required if the nature, scope or location of works changes – in this event, please speak to the Contact Officer (see 14).

2. Roadworks Roundup

The permit holder should review the Department's Roadworks Roundup when planning the works to avoid works impacting on planned roadworks. The Roadworks Roundup lists information about planned roadworks and closures (available at www.transport.tas.gov.au/projectsplanning/road_closures_and_delays).

Yours sincerely



Matthew Stirling
Principal Analyst Traffic Engineering

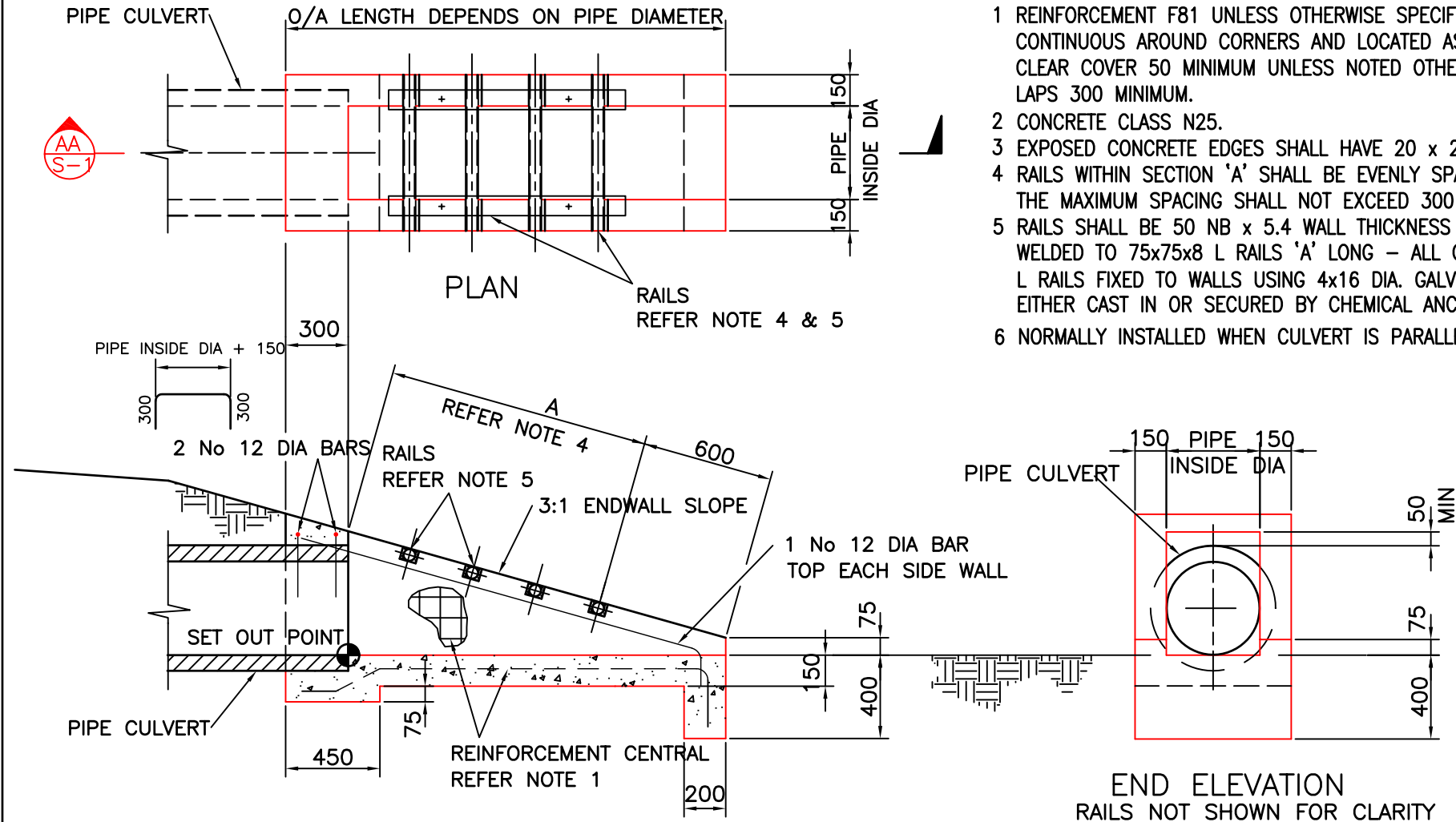
Delegate of
Minister for Infrastructure and Transport
Michael Ferguson MP

27 July 2023

Cc: General Manager, Brighton Council

NOTES:

- 1 REINFORCEMENT F81 UNLESS OTHERWISE SPECIFIED SHALL BE CONTINUOUS AROUND CORNERS AND LOCATED AS SHOWN. CLEAR COVER 50 MINIMUM UNLESS NOTED OTHERWISE LAPS 300 MINIMUM.
- 2 CONCRETE CLASS N25.
- 3 EXPOSED CONCRETE EDGES SHALL HAVE 20 x 20 CHAMFERS.
- 4 RAILS WITHIN SECTION 'A' SHALL BE EVENLY SPACED THE MAXIMUM SPACING SHALL NOT EXCEED 300 mm.
- 5 RAILS SHALL BE 50 NB x 5.4 WALL THICKNESS GALV TUBES WELDED TO 75x75x8 L RAILS 'A' LONG - ALL GALV. L RAILS FIXED TO WALLS USING 4x16 DIA. GALV. BOLTS EITHER CAST IN OR SECURED BY CHEMICAL ANCHORS
- 6 NORMALLY INSTALLED WHEN CULVERT IS PARALLEL TO TRAFFIC



SECTION A
S-1

NOT TO SCALE

				DRAFTING		DESIGN		DEPARTMENT OF INFRASTRUCTURE, ENERGY AND RESOURCES, TASMANIA			
				DRAWN	DATE	DESIGNED	DATE	DRIVEABLE CULVERT ENDWALL TYPE 1 SINGLE PIPE CULVERT 600mm DIA. MAX.			
				A.J.W.	22/2/99	-	-				
				CHECKED	DATE	RECOMMENDED/CHECKED	DATE				
				E.A.PITMAN	3/9/99	B.J.WILLIAMS	3/9/99				
				APPROVED	DATE	ACCEPTED	DATE	FROM LINK No. / DISTANCE TO LINK No. / DISTANCE			
				P.J.HOLLAND	3/9/99	G.K.ROBERTS	6/9/99	CONTRACT No. / SHEET No.			
								DRG. No.			
								3402-2/P35-2			

No.	AMENDMENTS	CHECKED	DATE	APPROVED
1	RAIL FITTING AMENDED		11/7/03	G.K.R.
2	NOTE 6 ADDED		15/5/02	G.K.R.

[REDACTED]

From: Howlett, Braden [REDACTED]
Sent: Tuesday, 21 January 2025 8:41 AM
To: [REDACTED]
Subject: Fwd: Access Works Permit - Final Acceptance - 294 Tea Tree Road Brighton - Frank & Jennifer Wessing

Hi Gary,

Please see final acceptance of the access works permit at 294 tea tree Rd Brighton.

Thanks
Braden Howlett

From: Permits
Sent: Tuesday, 6 August 2024 1:40 PM
To: [REDACTED]
Cc: admin@brighton.tas.gov.au
Subject: Access Works Permit - Final Acceptance - 294 Tea Tree Road Brighton - Frank & Jennifer Wessing

Good Afternoon,

The works authorised at the above location have been inspected and appear to have been satisfactorily completed. This permit is no longer applicable for any further works. If you wish to undertake further works, you will need to apply for a new permit.

Please also note that, in accordance with Section 16 of the Roads and Jetties Act 1935, the property owner is responsible for the ongoing maintenance and repair of the whole of the access from their property to the State road pavement.

A copy of this email will be sent to Brighton Council for information.

Regards,

Approvals Team

Support Services Branch | Department of State Growth

4 Salamanca Place, Hobart TAS 7000 | GPO Box 536, Hobart TAS 7001

www.stategrowth.tas.gov.au

Courage to make a difference through

TEAMWORK | INTEGRITY | RESPECT | EXCELLENCE