



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2024/216**

LOCATION OF AFFECTED AREA

**808 BOYER ROAD, DROMEDARY**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**SINGLE DWELLING AND OUTBUILDING**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **23/12/2024**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**Chief Executive Officer**



**Brighton**  
*going places*

Proposed New Dwelling and Outbuilding at Lot 3, 804 Boyer Road, Dromedary.

Proprietor Mr S Panten

Designer - Tony Mathers CC1345F

Structural Engineer - TBA

Building Surveyor - TBA

Builder - TBA

Energy Assessment - TBA

Site Classification - TBA

Soil Classification -

Wind Load Classification -

Climate Zone - 7

BAL - TBA

Certificate of Title 187263/3

Planning Approval -

Land Use Zoning - Rural Living Zone B

Code Overlay - Bushfire-prone Hazard Areas Code

- Low landslip hazard band (not overlapping proposed built development)

Site Area - 2.004ha

Floor Area of Dwelling - 389m<sup>2</sup> (measured to the outside of external walls)

Floor Area of Outbuilding - 168m<sup>2</sup> (measured to the outside of external walls)

Total percentage of site covered 2.8%

Description - Single storey dwelling, and outbuilding. Part of the outbuilding will be used for temporary accommodation whilst the dwelling is being constructed.

Development Standards

Site coverage exceeds 400m<sup>2</sup>, however there is nothing proposed that does not fully comply with the Performance Criteria. Onsite wastewater will be designed and certified, rainwater tanks will capture runoff from roofs.

Building heights do not exceed 8.5m

Buildings have a setback of greater than 10m. Dwelling has a setback of 25m to the side boundary, shed has a setback of 93m to the side boundary. Rear boundary setback 73m.

Drawing Schedule (Drawings printed to A3 size)

1 Site Plan

2 Floor Plan

3 Elevations

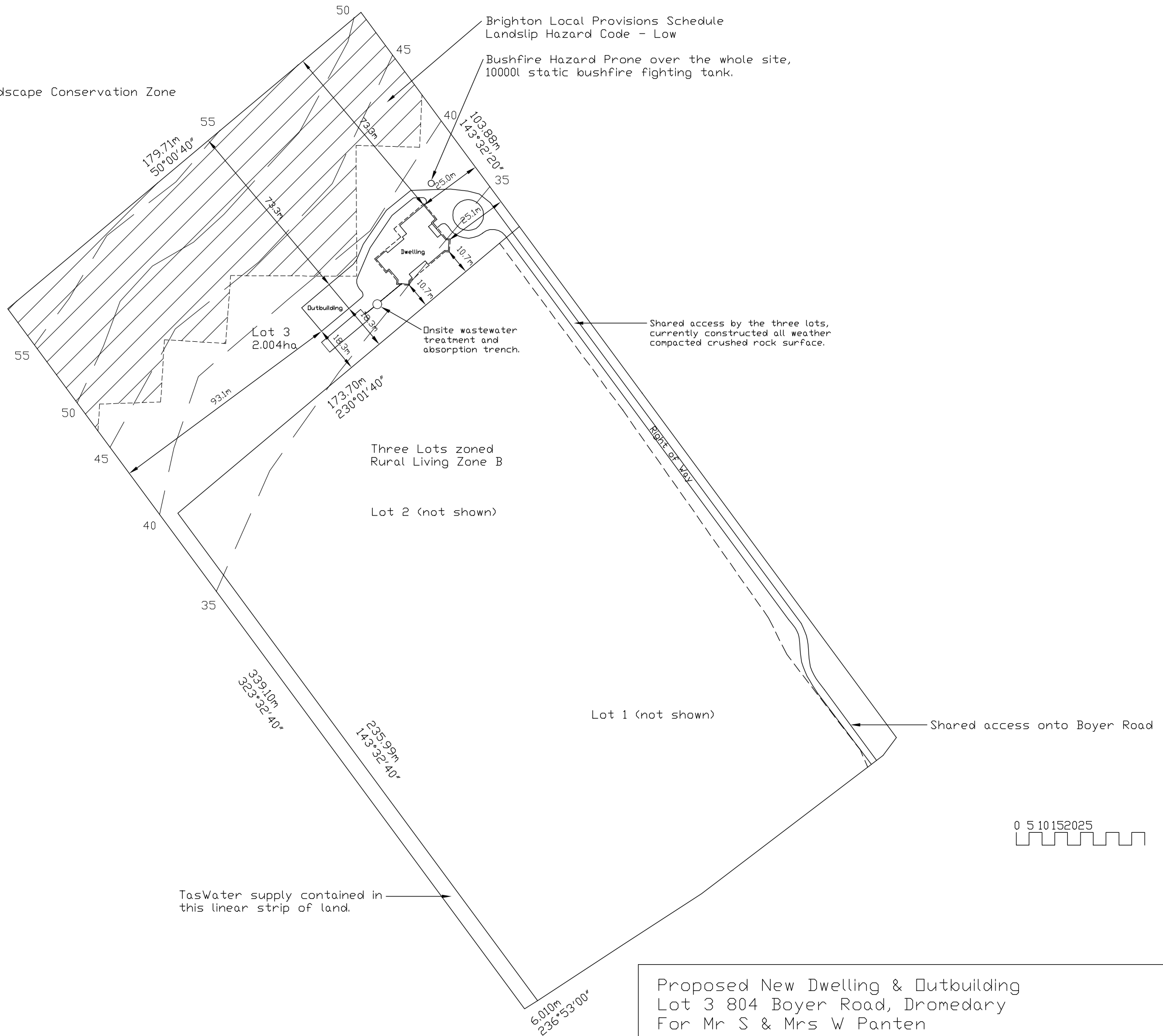
4 Elevations

5 Outbuilding Floor Plan & Elevations

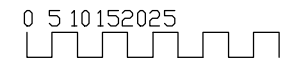
Landscape Conservation Zone

Brighton Local Provisions Schedule  
Landslip Hazard Code - Low

Bushfire Hazard Prone over the whole site,  
10000l static bushfire fighting tank.



TasWater supply contained in  
this linear strip of land.



Proposed New Dwelling & Outbuilding  
Lot 3 804 Boyer Road, Dromedary  
For Mr S & Mrs W Panten



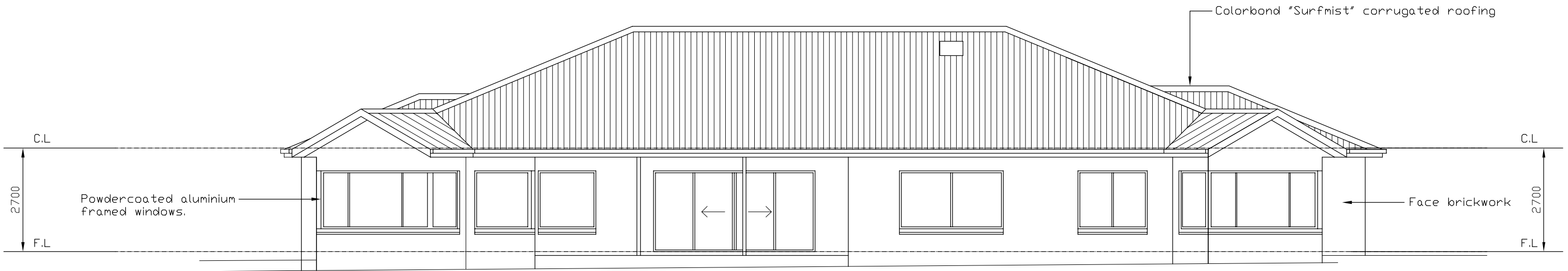
**TONY  
MATHERS**  
Accredited  
Designer  
CC1345F  
0408448448

Site Plan 1:1500 8/11/24 1 of 5

ALL DOCUMENTS ARE PROTECTED BY COPYRIGHT AND REMAIN THE PROPERTY OF TONY MATHERS ARCHITECTURE



East Elevation

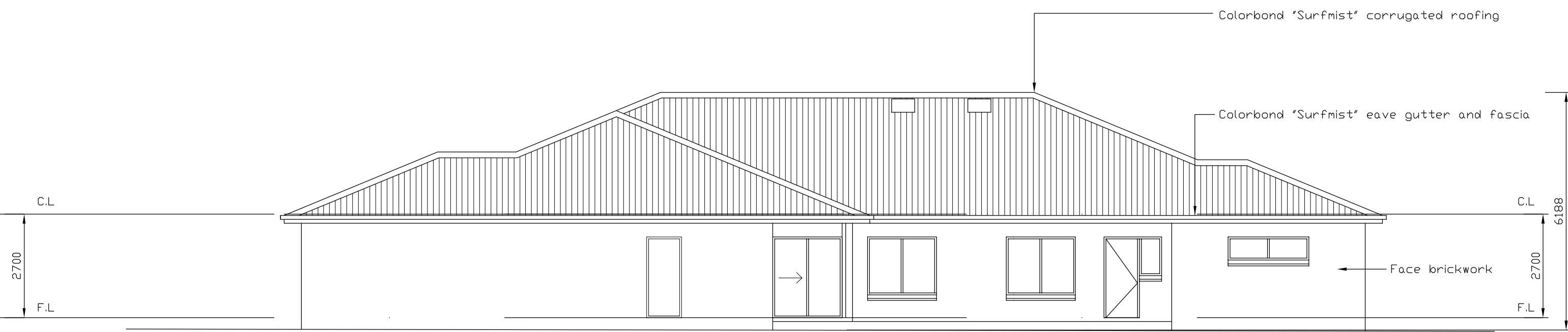


South Elevation

Proposed New Dwelling & Outbuilding Lot 3 804 Boyer Road, Dromedary For Mr S & Mrs W Panten				TONY MATHERS Accredited Designer CC1345F 0408448448
Elevations (A3)	1:100	8/11/24	3 of 5	
ALL DOCUMENTS ARE PROTECTED BY COPYRIGHT AND REMAIN THE PROPERTY OF TONY MATHERS ARCHITECTURE				

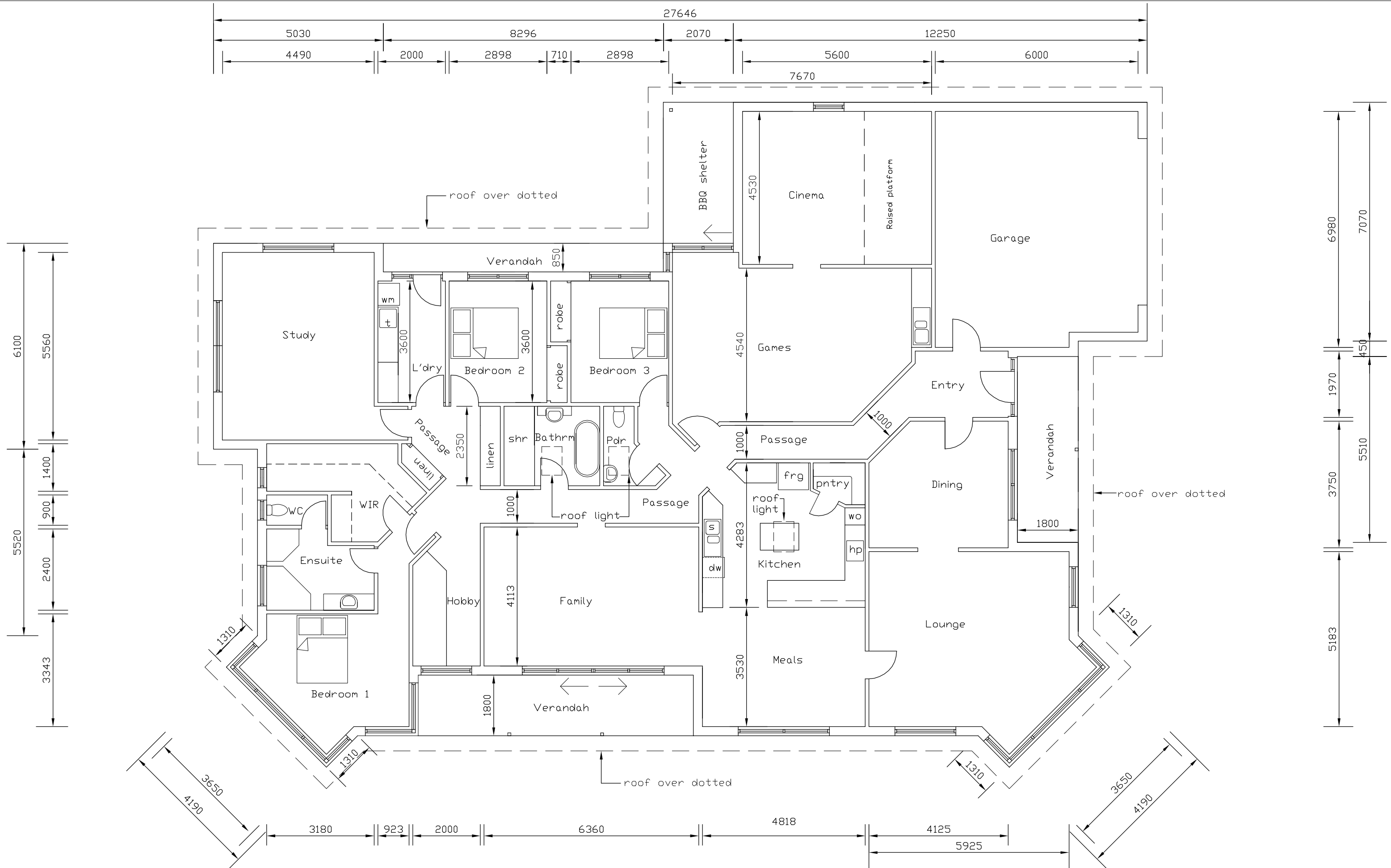



West Elevation

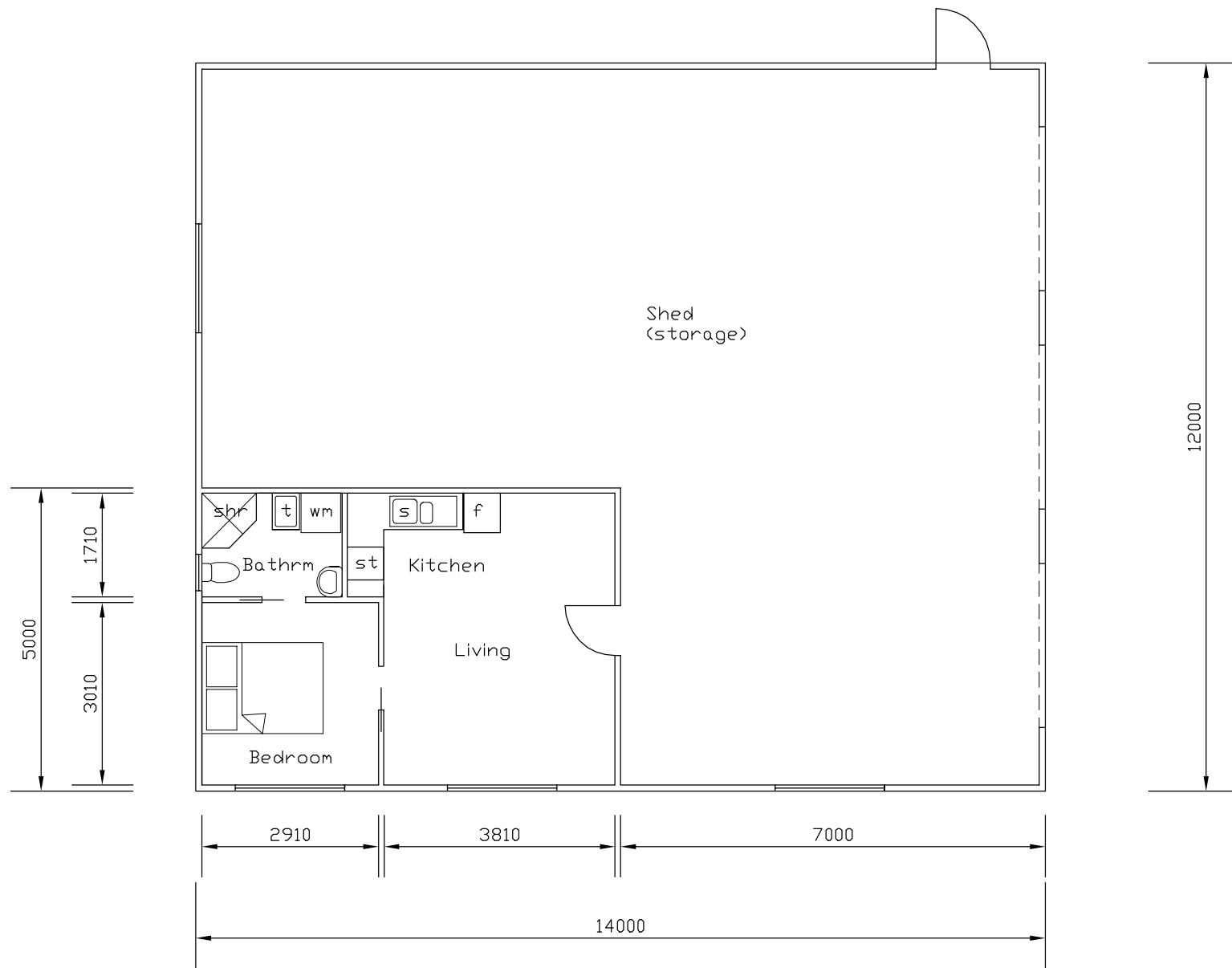


North Elevation

Proposed New Dwelling & Outbuilding Lot 3 804 Boyer Road, Dromedary For Mr S & Mrs W Panten			TONY MATHERS Accredited Designer CC1345F	
Elevations (A3)	1:100	8/11/24	4 of 5	0408448448
ALL DOCUMENTS ARE PROTECTED BY COPYRIGHT AND REMAIN THE PROPERTY OF TONY MATHERS ARCHITECTURE				

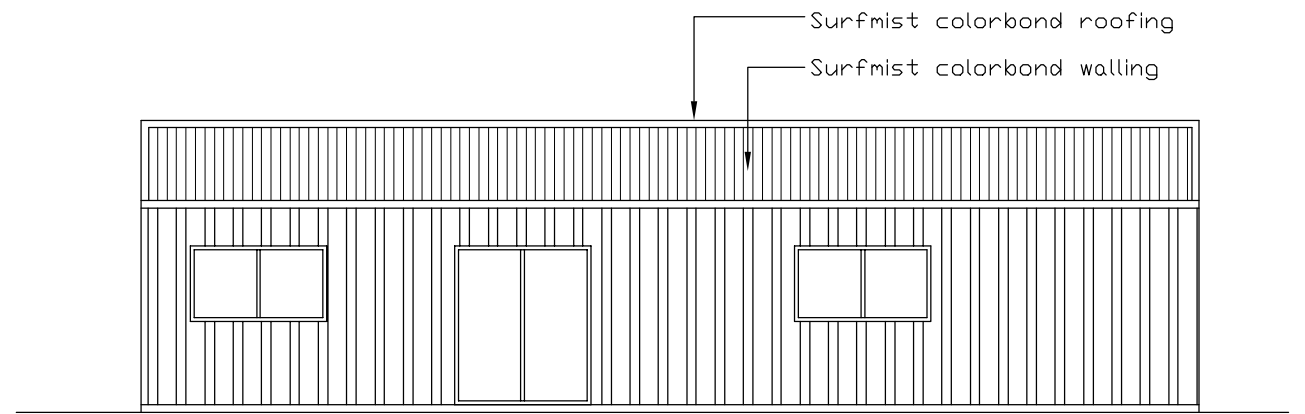


Proposed New Dwelling & Outbuilding Lot 3 804 Boyer Road, Dromedary For Mr S & Mrs W Panten			 <b>TONY MATHERS</b> Accredited Designer CC1345F 0408448448
Floor Plan (A3)	1:100	8/11/24 2 of 5	
ALL DOCUMENTS ARE PROTECTED BY COPYRIGHT AND REMAIN THE PROPERTY OF TONY MATHERS ARCHITECTURE			

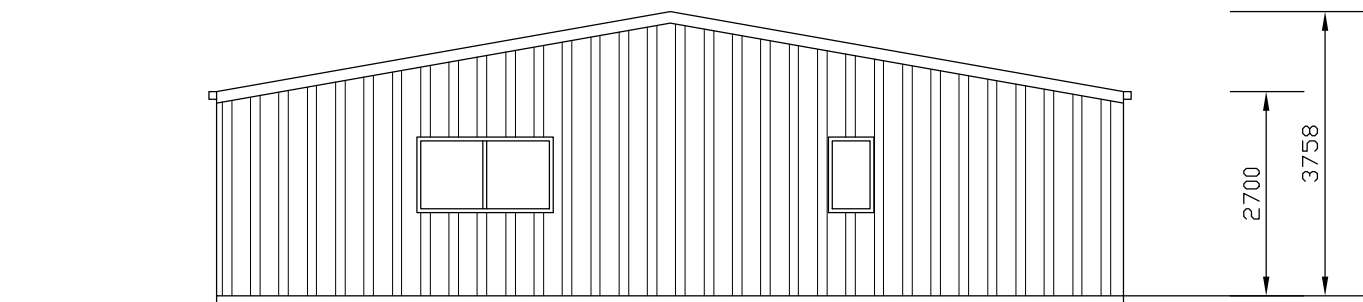


Floor Plan

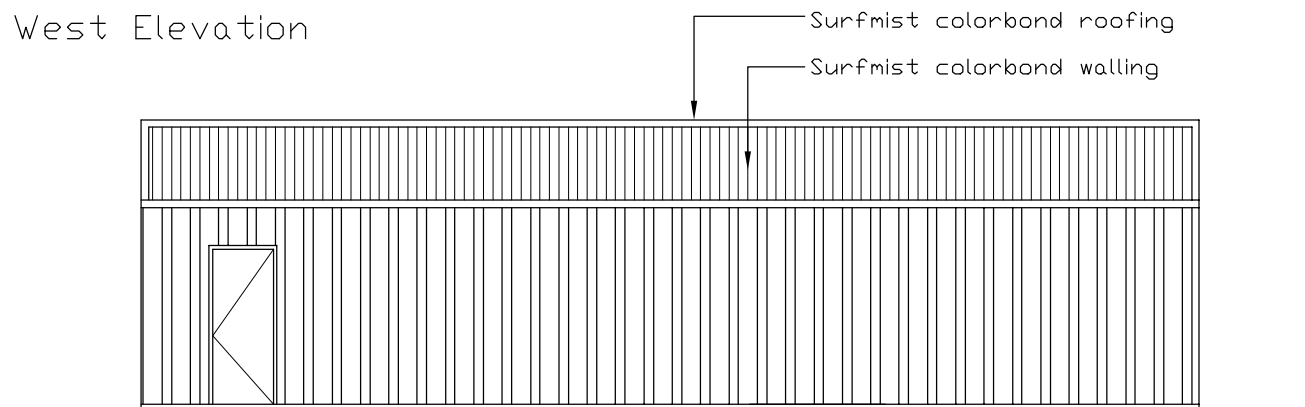
Part of the Shed is intended to be used for tempoary accommodation during the construction of the dwelling. This will provide a cost saving accommodation and storage of household personal effects.



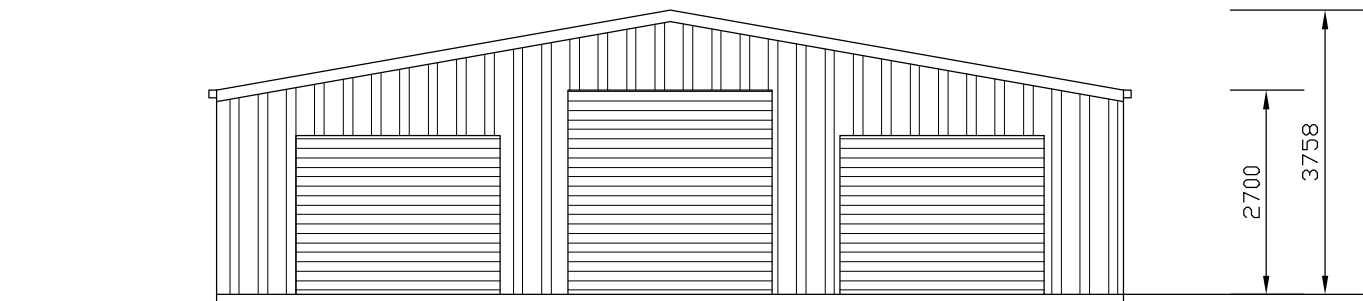
South Elevation




West Elevation



North Elevation



East Elevation

Proposed New Dwelling & Outbuilding Lot 3 804 Boyer Road, Dromedary For Mr S & Mrs W Panten			 <b>TONY MATHERS</b> Accredited Designer CC1345F 0408448448
Shed Floor Plan & Elevations (A3) 1:100	8/11/24	5 of 5	
ALL DOCUMENTS ARE PROTECTED BY COPYRIGHT AND REMAIN THE PROPERTY OF TONY MATHERS ARCHITECTURE			

# DO YOU WANT YOUR SHED BEFORE CHRISTMAS?

ORDERS NEED TO BE IN  
BY THE 25TH OF  
OCTOBER!



## TassieSheds

MODERN SHEDS BUILT AUSSIE TOUGH

### Quotation

Stanley Panten  
73 Montagu St  
New Norfolk  
TAS  
7140

TASSIE SHEDS

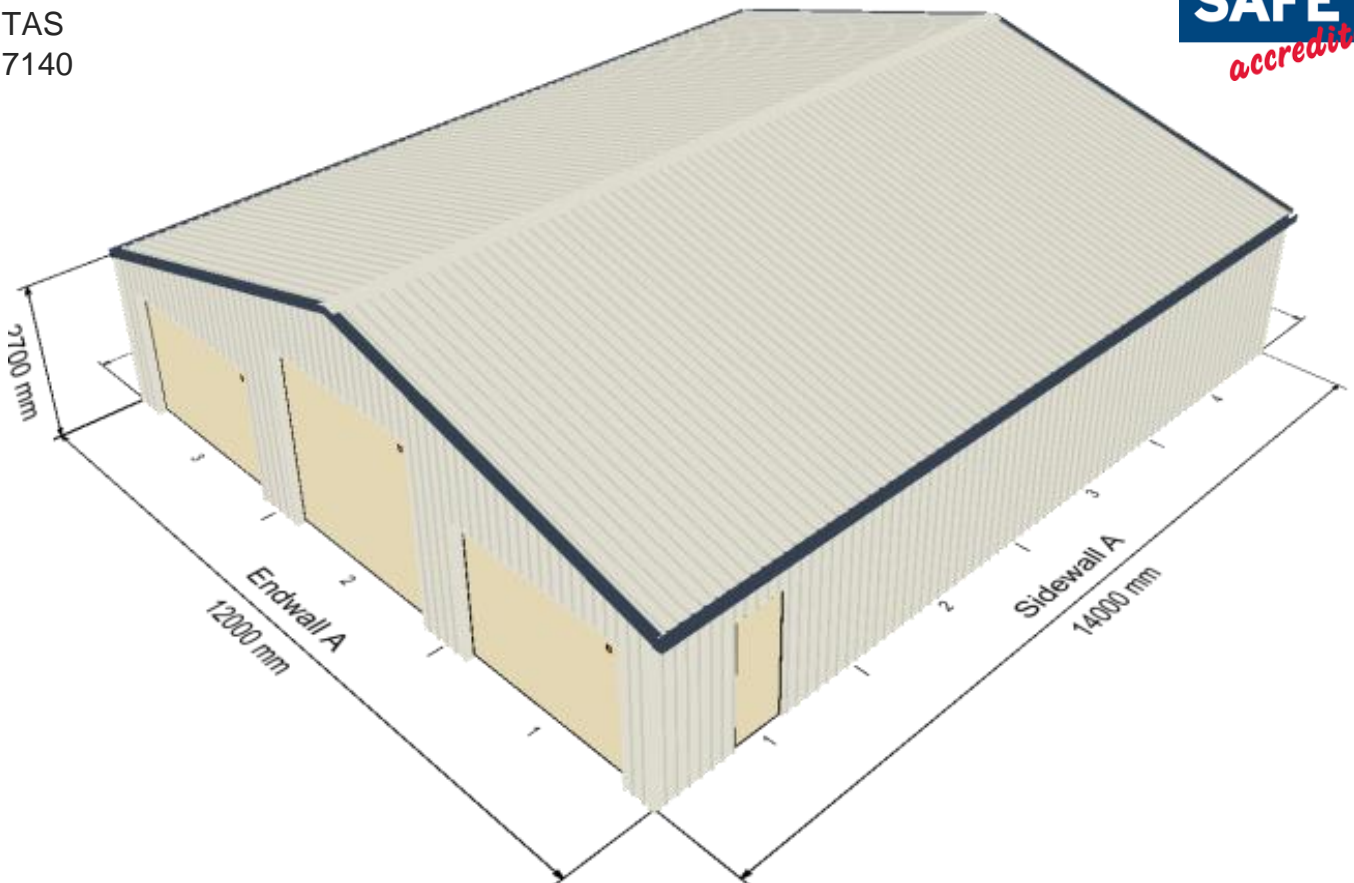
(03) 6165 0204

info@tassiesheds.com.au

CAN: 644 258 560

01-10-2024

Quote #98283519



# Colorbond® Zinalume®





## Quote #98283519, 01-10-2024

### Building Specifications

#### Building Site Address:

73 Montagu St, New Norfolk, TAS, 7140

#### Design Criteria:

Snow Load: N/A  
Wind Load/Exposure: 35.0 m/s  
Building Class: 10a  
Wind Region: A4  
Importance Level: 2  
Terrain Category: 2.68  
Shielding: 0.91  
Topography: 1

#### Sheeting and Trim Details:

Roof Type: Trimclad 0.42 CB  
Roof Color: Surfmist  
Wall Type: Trimclad 0.42 CB  
Wall Color: Surfmist  
Gutter Type: Quad Gutter 150 Hi-Front  
Trim Color: Varies  
Base Trim: None

#### Building Dimensions:

Width: 12.000 m  
Length: 14.000 m  
Eave Height: 2.700 m  
Roof Pitch: 15 deg  
# Sidewall Bays: 4 3.500 m  
# Endwall Bays: 3 4.000 m

#### Building Specs:

Columns: 2C15019  
Rafters: 2C15019  
Endwall Column: C15019  
Roof Purlins: Z10012  
Side Wall Girts: Z10012  
End Wall Girts: Z10012

#### Leanto A Details:

Span: N/A  
Bays: N/A  
Drop: N/A  
Roof Pitch: N/A  
Eave Height: N/A

#### Leanto B Details:

Span: N/A  
Bays: N/A  
Drop: N/A  
Roof Pitch: N/A  
Eave Height: N/A

#### Slab and Footing Details: (Slab Not Included)

Bored Engineering plans included  
Bolt Down Anchor Brackets  
100mm Slab (100mm,125mm & 150mm Available)  
Main Column Footings: 650 mm - 400 mm (Depth x Diameter)  
End Mullion Footings: 500 mm - 400 mm (Depth x Diameter)

## Opening Details:

- Personnel doors: 1x Larnec 2040 x 820 x 35mm - CB Pre Hung - Colorbond Single Skin - P/C Tube Frame - Wind Class N4 & C1 Knob/Knob Outward Swing Classic Cream
- Roller Doors: H3000xW3050 ROW Roller Door Classic Cream (actual opening size 3000h x 3050w) in Center of bay 2 of Endwall A  
H2200xW3050 ROW Roller Door Classic Cream (actual opening size 2200h x 3050w) in Center of bay 1 of Endwall A  
H2200xW3050 ROW Roller Door Classic Cream (actual opening size 2200h x 3050w) in Center of bay 3 of Endwall A
- Windows: 4x 790X1274 XO Deep Ocean
- Framed Openings: None
- Open Bays: None
- Translucent Panels: None
- Door Extras: 1x H3000xW3050 ROW Roller Door Classic Cream  
3x Box A Door  
2x H2200xW3050 ROW Roller Door Classic Cream

## Insulation Details:

None

## Mezzanine:

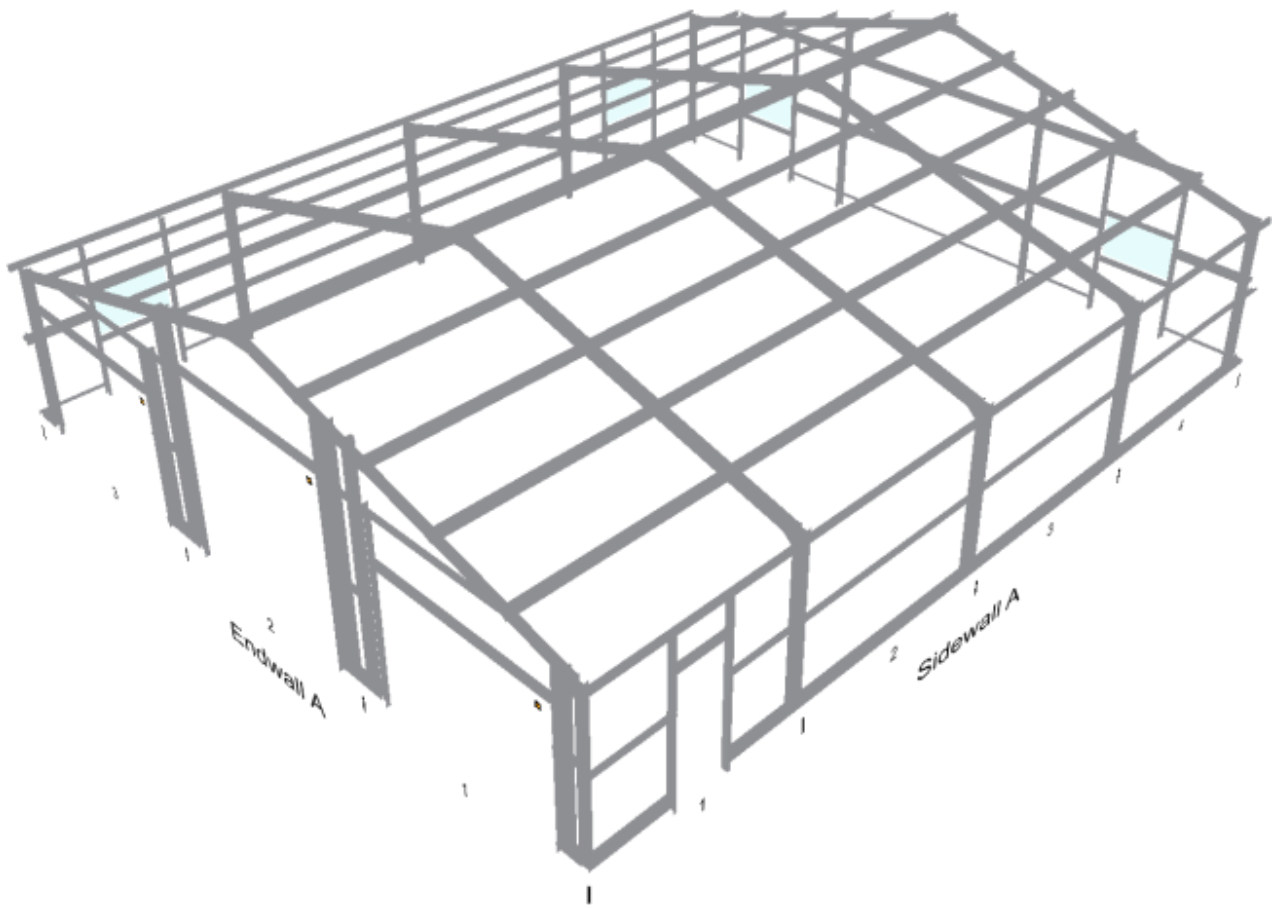
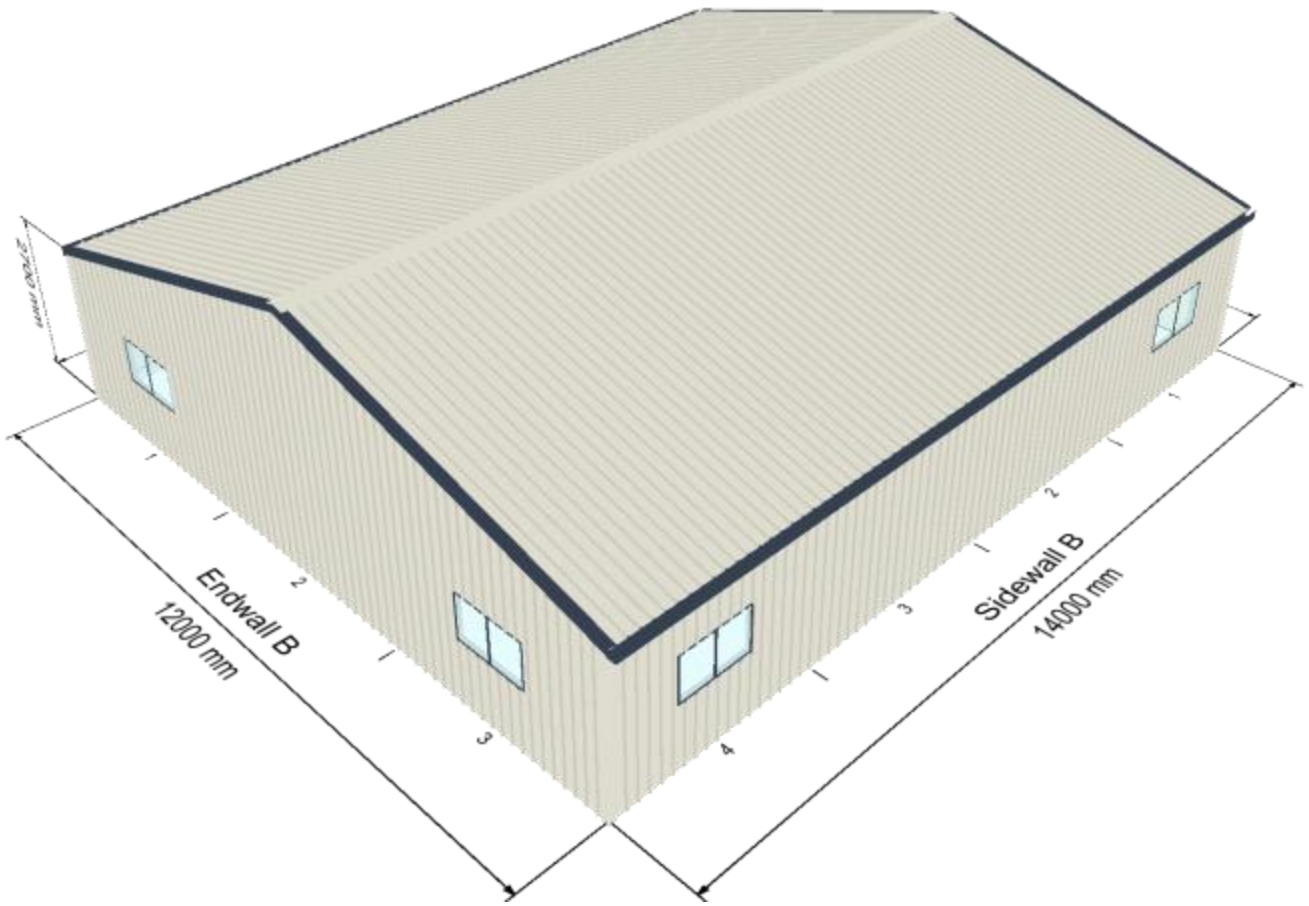
Floor Height: N/A    Bays: N/A  
Live Load: N/A    Joist Spacing: N/A

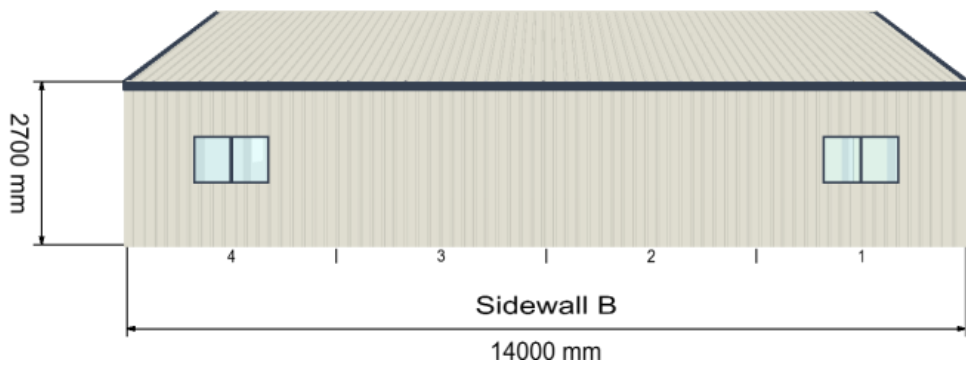
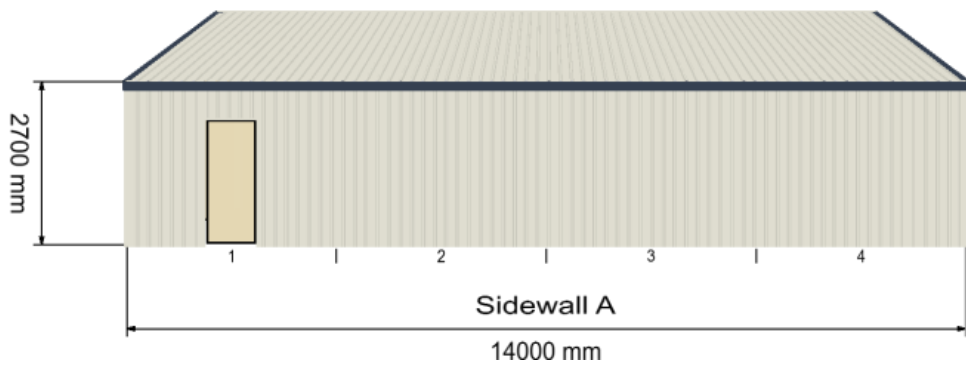
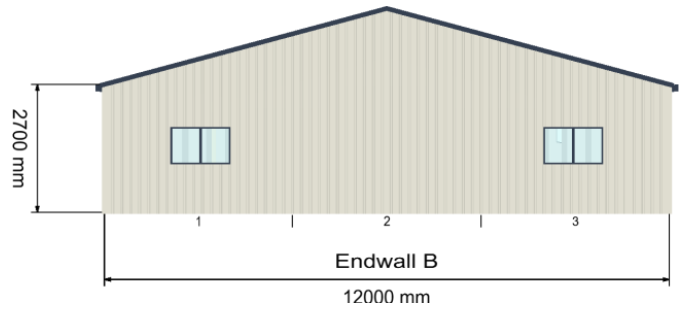
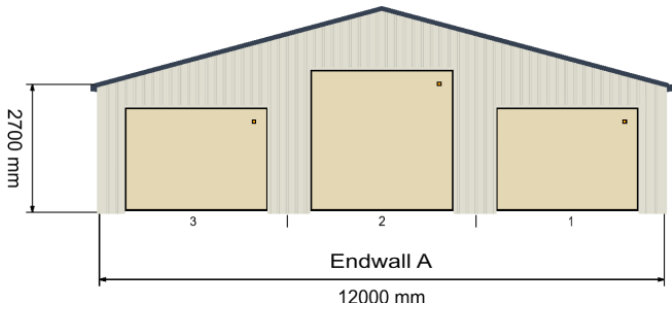
## Extra Options:

N/A  
Knee Brace: N/A  
Apex Brace: N/A

## Total Building Weight:

3805.39kg





## Pricing & Payment Terms

### Purchase Conditions:

10% Deposit for stamped engineering drawings.

50% Total prior to manufacturing. (40% due if 10% engineering has been paid)

50% Balance to be paid 14 days before delivery.

### Special Terms – Must Read

Delivery is to the front of the property only unless there is sufficient area for the delivery truck to return around on your property.

The shed package remains the property of Tassie Sheds until fully paid for.

The purchaser agrees to accept the shed package within 4-6 weeks of ORDERING, barring any steel shortages or unforeseen issues. **In the event of a material price rise by the material manufacturer, the purchaser agrees to pay the increase.**

## Client Details

Client: Stanley Panten  
Quote #98283519  
Clients Address: 73 Montagu St  
New Norfolk, TAS, 7140  
Phone: 0407548458  
Date: 01-10-2024

## Kit Price

**\$26,316.05 (Inc. GST.)**

**Delivery Included** (If on standard delivery route)

**Price valid for 14 days** (Unless price rises)

## Quote Acceptance

**Signed Acceptance of Building Price and Design.**

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**Signed That Terms and Conditions Have Been Read.**

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### Tick Your Required Invoice:

**10% Engineering Invoice** (We provide full engineering documents and local certificate.) We need a total of 50% to go to manufacture. Only after paying 50% are you excluded from future price rises.)

**50% Manufacturing Invoice** (You receive your engineering documentation, and we begin manufacture.)  
Final 50% delivery invoice due 14 days before delivery.

**100% Full Payment Invoice** (You receive your engineering documentation, and we begin manufacture.)

## Important Terms & Conditions

### 1. **Payment**

- (a) The Customer shall pay the Supplier the amount(s) stated as per payment schedule accompanying the order.
- (b) The Supplier is not obliged to deliver any Goods unless the Customer has paid all amounts in full.
- (c) The Customer must pay to the Supplier all debt collection costs, including any legal fees associated with the recovery or attempted recovery of any amount due to the Supplier under the Agreement.
- (d) Goods for each building are made as required, any orders cancelled after order placement will not be refunded.

### 2. **Ownership**

- (a) Ownership of the Goods does not pass to the Customer until all amounts due are paid to the Supplier.
- (b) Unless payment for the Goods is made to the Supplier by due date, the Supplier, or its agents or employees, may at any time enter on to the site where the Goods are stored and remove the Goods.
- (c) The Customer must indemnify the Supplier in respect of any claims, losses, costs, or damages that the Supplier may incur as a result of the Supplier taking action under clause 2(b).
- (d) Until the Customer has paid for the Goods;
  - (i) The Customer must not use, sell, lease, dispose, assign, or encumber the Goods (by mortgage, lien, charge or otherwise) without the consent of the Supplier; and
  - (ii) The Customer must store the Goods separately in a readily identifiable state.

### 3. **Council**

- (a) The Customer agrees to pay any additional costs incurred should the Local Council require any changes be made to the building.
- (b) A rejection of any building application or scope of works by the Local Council does not constitute a cancellation of the order and all moneys payable by the Customer to the Supplier shall become immediately due and payable.

### 4. **Delivery**

- (a) The Customer will at his expense provide or cause to be provided full and clear access to the delivery site.
- (b) Times for delivery are approximate and the Supplier can in no way be held responsible for variations to the proposed times.
- (c) Where delivery is specified to be made to a site, any additional mechanical assistance required to unload the Goods (e.g. crane, etc) must be paid for and organised by the Customer.
- (d) The Customer is to immediately notify the Supplier in writing upon discovery of any defect or shortage in the Goods. The Customer is deemed to have accepted the Goods and shall not have any claim in respect of defects or shortage unless the Supplier is notified in writing within forty-eight (48) hours of delivery of the Goods.

### 5. **General**

- (a) Minor variations in measurements from those shown in the order shall not give rise to any claim for damages or breach of Agreement.
- (b) To the extent permitted by law, the Supplier's liability with respect to the supply of defective or faulty Goods is limited to the lowest of:
  - (i) The replacement or repair of the Goods; or
  - (ii) Payment of the costs of replacing the Goods or supplying equivalent Goods, in each case, at the Suppliers discretion. The Supplier shall not be liable for any labour costs associated with such repair or replacement.
- (c) The Customer warrants that he has carried out his own inquiries and investigations as to adequacy or suitability of the Goods for the purpose for which the Customer intends to use the Goods and the Customer has not relied on the Supplier or the supplier's employees, agents or distributors in determining the adequacy or suitability of the Goods for the Customer's purposes.
- (d) If the Customer defaults under any term of the Agreement or these Terms & Conditions, the Supplier may terminate the Agreement and all moneys payable by the Customer to the Supplier shall become immediately due and payable.

# Classic finish



**Dover White™**  
Classic finish  
SA = 0.28



**Surfmist®**  
Classic finish  
SA = 0.33  
U



**Evening Haze®**  
Classic finish  
SA = 0.43



**Southerly®**  
Classic finish  
SA = 0.40



**Dune®**  
Classic finish  
SA = 0.48  
U



**Paperbark®**  
Classic finish  
SA = 0.43



**Classic Cream™**  
Classic finish  
SA = 0.33



**Shale Grey™**  
Classic finish  
SA = 0.44  
U



**Bluegum®**  
Classic finish  
SA = 0.57



**Windspray®**  
Classic finish  
SA = 0.60  
U



**Gully®**  
Classic finish  
SA = 0.64



**Jasper®**  
Classic finish  
SA = 0.67



**Wallaby®**  
Classic finish  
SA = 0.64  
U



**Basalt®**  
Classic finish  
SA = 0.67



**Woodland Grey®**  
Classic finish  
SA = 0.70  
U



**Monument®**  
Classic finish  
SA = 0.73  
U



**Night Sky®**  
Classic finish  
SA = 0.95



**Ironstone®**  
Classic finish  
SA = 0.73



**Deep Ocean®**  
Classic finish  
SA = 0.74



**Cottage Green®**  
Classic finish  
SA = 0.73



**Pale Eucalypt®**  
Classic finish  
SA = 0.60



**Manor Red®**  
Classic finish  
SA = 0.70