



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/021

LOCATION OF AFFECTED AREA

30 LILLE STREET, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **23/12/2024**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

PROPOSED PROPRIETARY SHED

30 LILLE STREET, BRIGHTON

T.L. KING

PD24153

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	SHADOW DIAGRAMS
05	ELEVATIONS

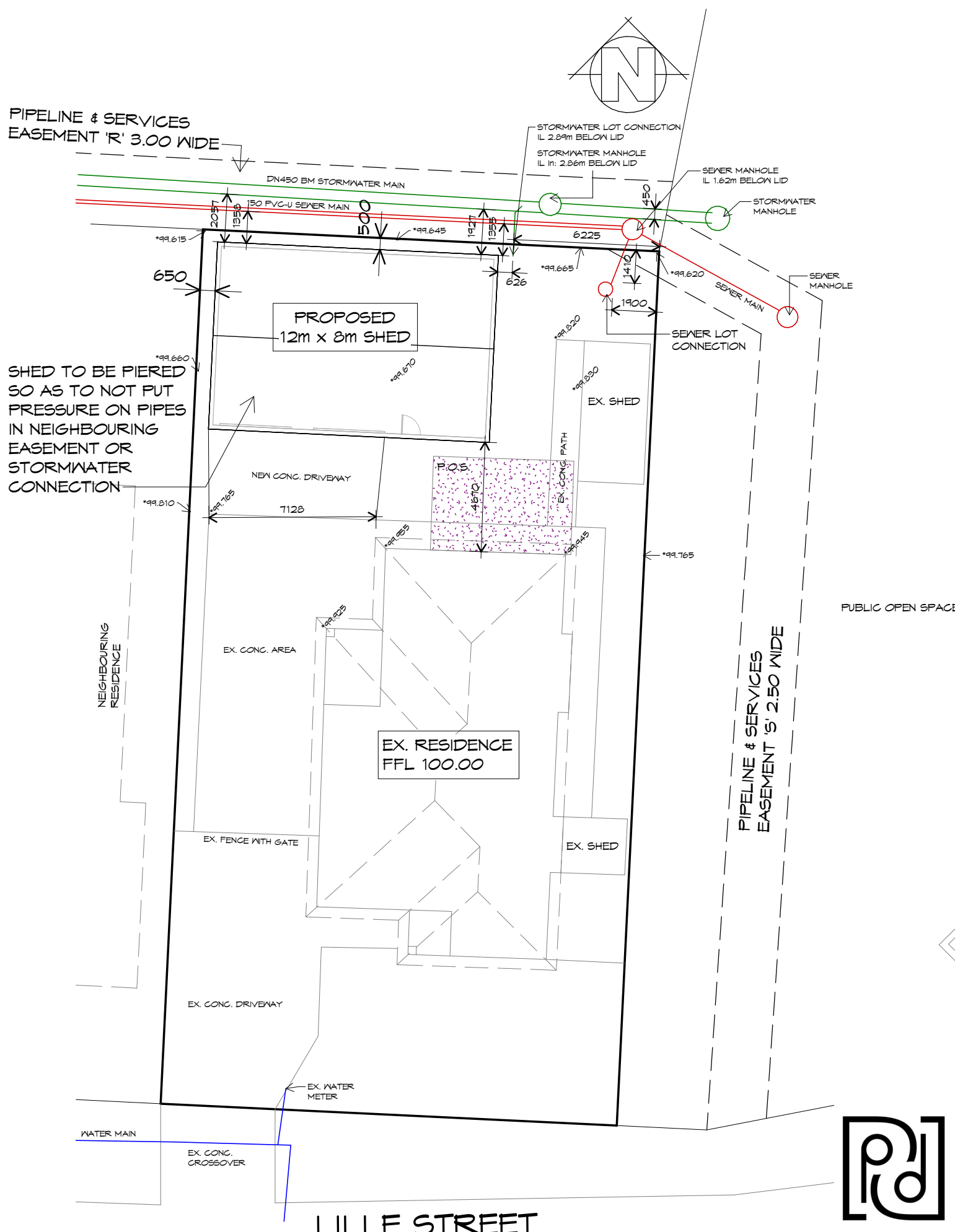
PRELIMINARY PRINT

CONCEPT



10 Goodman Court , Invermay Launceston 7248
p(l) +03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

NOVEMBER 2024



SITE PLAN
1 : 200

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

CONCEPT
NOTE: DO NOT SCALE OFF DRAWINGS

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL-TBC**. REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.



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Project:
PROPOSED PROPRIETARY SHED
30 LILLE STREET,
BRIGHTON

Client name:
T.L. KING

Drafted by:
S.P.

Approved by:
B.P.



Drawing:
SITE PLAN

Date: **21.11.2024**
Scale: **1 : 200**

Project/Drawing no: **PD24153 -01**
Revision: **00**

Accredited building practitioner: Frank Geskus -No CC246A

PIPELINE & SERVICES
EASEMENT 'R' 3.00 WIDE

CONNECT STORMWATER
TO EX. LOT CONNECTION

STORMWATER LOT CONNECTION
IL 2.89m BELOW LID
STORMWATER MANHOLE
IL IN: 2.86m BELOW LID

SEWER MANHOLE
IL 1.62m BELOW LID

STORMWATER
MANHOLE

SEWER LOT
CONNECTION

SEWER MAIN

SEWER
MANHOLE

PROPOSED SHED

EX. SHED

EX. RESIDENCE
FFL 100.00

EX. SHED

EX. CONC. AREA

EX. CONC. DRIVEWAY

EX. WATER
METER

WATER MAIN

EX. CONC.
CROSSOVER

PUBLIC OPEN SPACE

PIPELINE & SERVICES
EASEMENT 'S' 2.50 WIDE

LILLE STREET

LEGEND

--- STORMWATER LINE

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

LEGEND OF DIAMETERS

DP = 90mm

DOWNPIPE STORMWATER = 90mm uPVC

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SITE DRAINAGE PLAN

1 : 200



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Drafted by:
S.P.

Approved by:
B.P.



Drawing:
SITE DRAINAGE PLAN

Date: **21.11.2024** Scale: **As indicated**

Project/Drawing no: **PD24153 -02** Revision: **00**

Accredited building practitioner: Frank Geskus -No CC246A



PROPOSED PROPRIETARY SHED
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BRIGHTON

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL-TBC**
REFER TO ASSESSMENT FOR FURTHER DETAILS.
ALL CONSTRUCTION MUST COMPLY WITH AS3959.



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Client name:
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Drawing:
LOCALITY PLAN

LOCALITY PLAN

1 : 2000

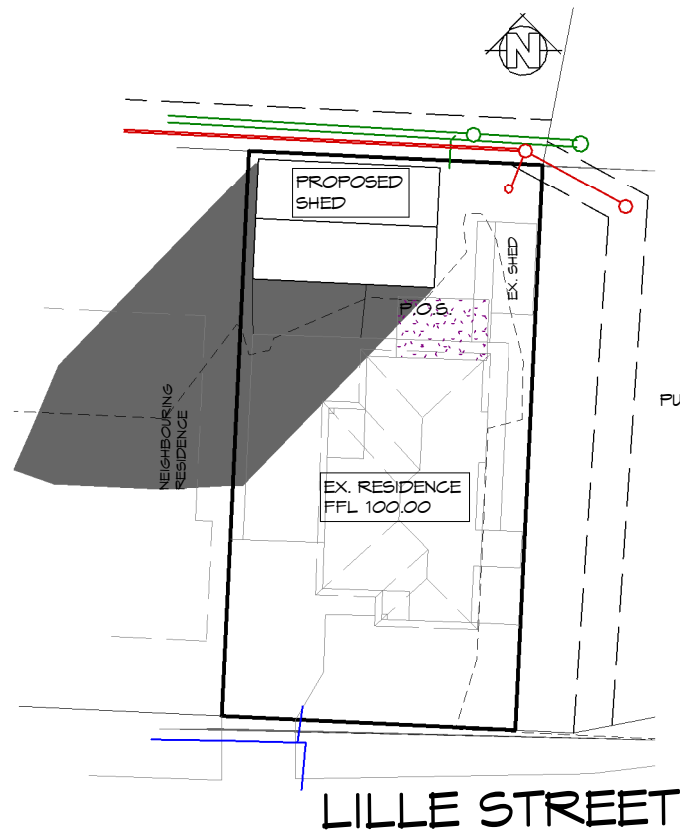
THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES A BUSHFIRE ASSESSMENT.**
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN

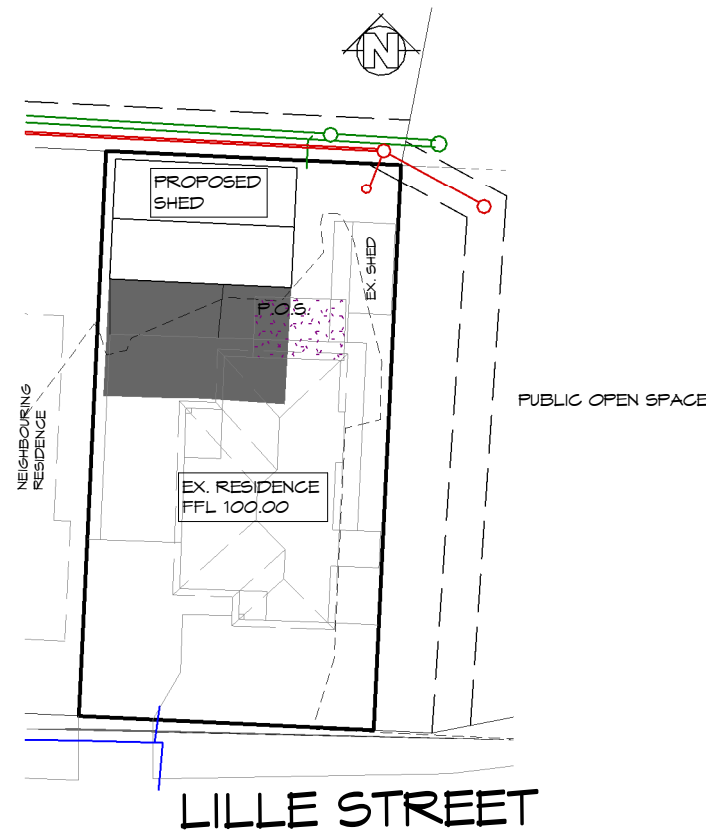
Drafted by: S.P. Approved by: B.P.

Date: 21.11.2024 Scale: 1 : 2000

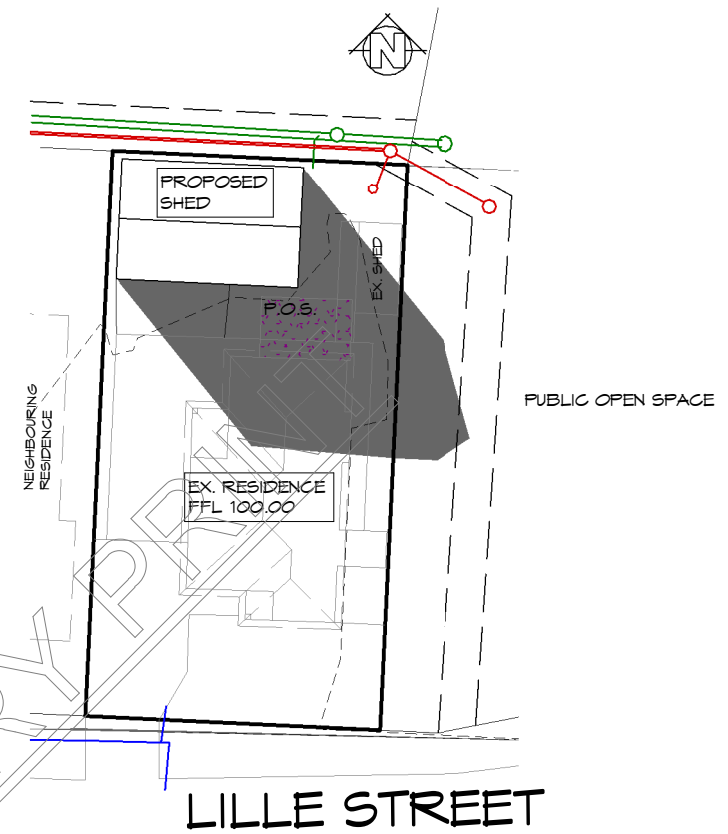
Project/Drawing no: PD24153 -03 Revision: 00



SHADOW DIAGRAM @ 9 AM
1 : 500



SHADOW DIAGRAM @ 12 PM
1 : 500



SHADOW DIAGRAM @ 3 PM
1 : 500

CONCEPT
NOTE: DO NOT SCALE OFF DRAWINGS

PRELIMINARY

GENERAL INFORMATION
 NORTH: TRUE NORTH/MAGNETIC NORTH
 DAY LIGHT SAVINGS: OFF
 DATE: JUNE 21st
 TIME: AS INDICATED



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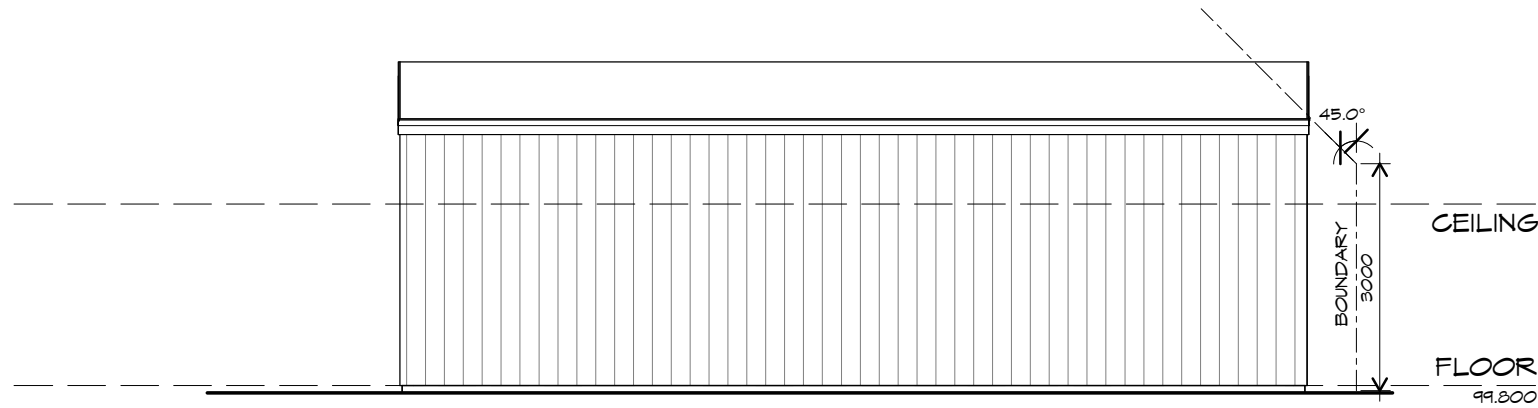


Drawing:
SHADOW DIAGRAMS

Date: 21.11.2024
 Scale: 1 : 500

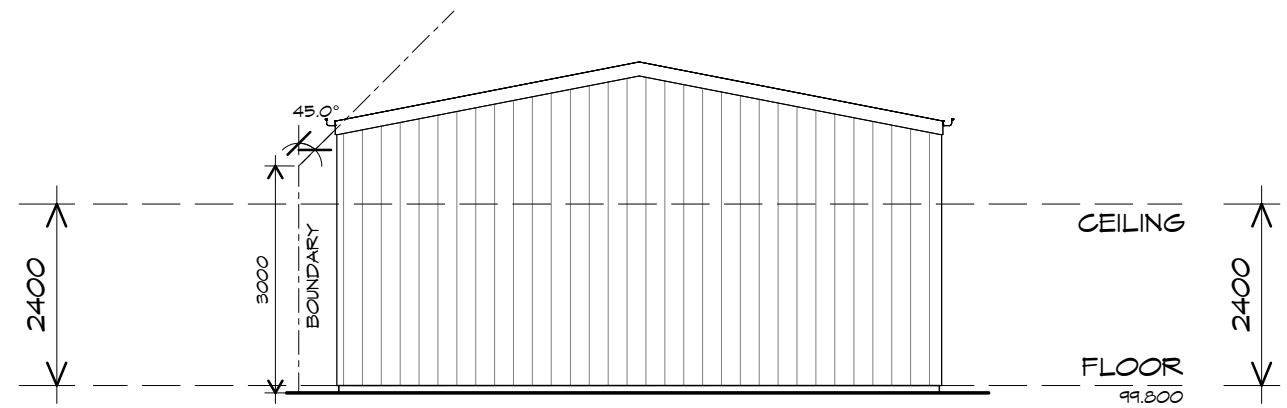
Project/Drawing no: PD24153 -04
 Revision: 00

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NORTHERN ELEVATION

1 : 100



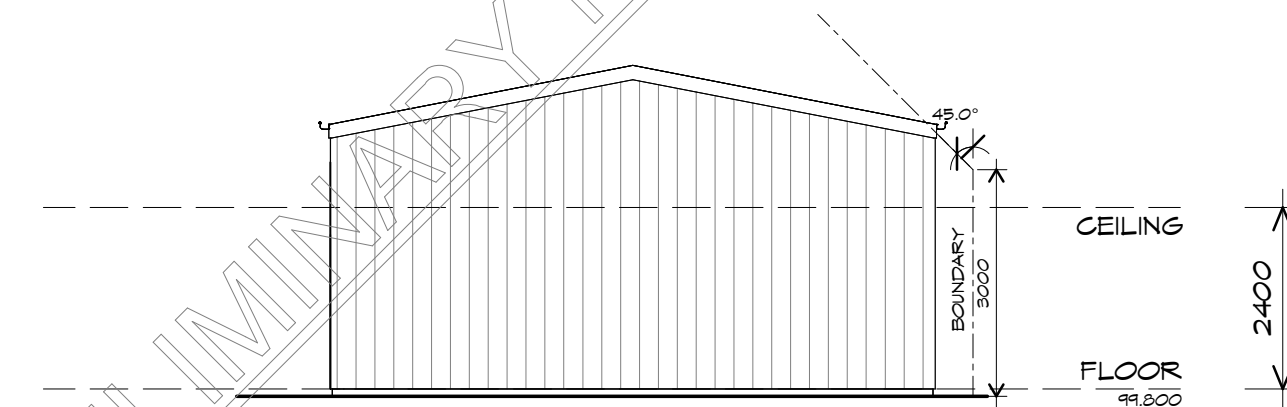
WESTERN ELEVATION

1 : 100



SOUTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100

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Drafted by:
Author

Approved by:
Approver



Drawing:
ELEVATIONS

Date: **21.11.2024** Scale: **1 : 100**

Project/Drawing no: **PD24153 -05** Revision: **00**

Accredited building practitioner: Frank Geskus -No CC246A



Prime
Design

your build, your way

29 November 2024

Brighton Council
1 Tivoli Road, Old Beach
TAS 7017

Dear Planner,

Re: Planning Response to RFI Letter (DA2024/00021)

1. Clause 8.4.2 P3 (a) – Setbacks and building envelope for all dwelling

The proposed shed does not cause unreasonable loss of amenity to its adjoining properties. It is very much in keeping with its surrounding in terms of size and bulk. The neighbouring properties in its vicinity have sheds of comparable scale to the rear of their properties. The visual impact along the western boundary is minimal when viewed from the adjoining property, being less than 9m. The shed is also well within its building envelope, with the high point of the gable roof protruding approximately 700mm. In terms of overshadowing, this only occurs for 3 hours in the morning to the neighbouring property on the west side.

We seek Council's discretion on this matter.

Thank you.

Kind regards,
Tarcia Wong