



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/152

LOCATION OF AFFECTED AREA

17 ROSELLA CRESCENT, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **21/08/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

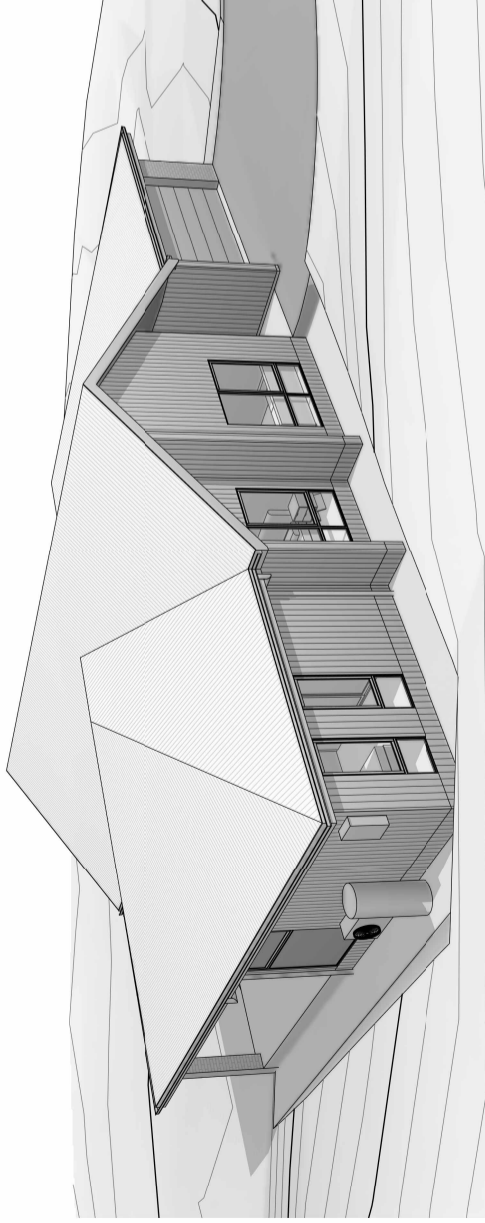
JAMES DRYBURGH
General Manager



Brighton
going places

AP2024-2324 - PROPOSED DWELLING
 17 Rosella Crescent,
 OLD BEACH

SHEET	DRAWING TITLE
01	LOCATION PLAN
01a	SITE PLAN
01b	DRAINAGE LOCATION PLAN
01c	DRAINAGE PLAN
02	FLOOR PLAN
03	ELEVATIONS SHEET 1
03a	ELEVATIONS SHEET 2
03b	PERSPECTIVE VIEWS



Notes

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- All materials to be installed according to manufacturers specifications.
- Do not scale from these drawings.
- No changes permitted without consultation with designer.

Designer:
 ANOTHER PERSPECTIVE PTY LTD
 PO BOX 21
 NEW TOWN
 L.C. NO. 663330609 (S. Turvey)
 Ph: (03) 6231 4122
 Fx: (03) 6231 4166
 Email: info@anotherperspective.com.au

Client / Project info
 PROPOSED DWELLING
 17 Rosella Crescent,
 OLD BEACH

Soil Classification: P
Title Reference: CT179418/4
Floor Areas: 232.03m²
Porch / Deck Areas: 21.70m²
Wind Speed: N2
Climate Zone: 7
Corrosion Zone: N/A
Corrosion Environment: MEDIUM
Certified BAL: TBC
Designed BAL: TBC
 (Refer to Standard Notes for Explanation)

COVER SHEET
 AP2024-2324
 Sheet
 Date 01 July 2024
 Scale 00/03

DA PLAN SET	01 July 2024	SW	ST	01 - 03
B W09 change, Garage door size change, Double basin to ensuite, Splashback window to laundry, Remove retaining walls show better.	28 June 2024	SW	N/A	01a, 02 - 03b
A Relocate/rotate house on site.	22 Mar. 2024	SW	N/A	01 - 03
No. Amendment	Date	Drawn	Checked	Sheet

GENERAL NOTES:

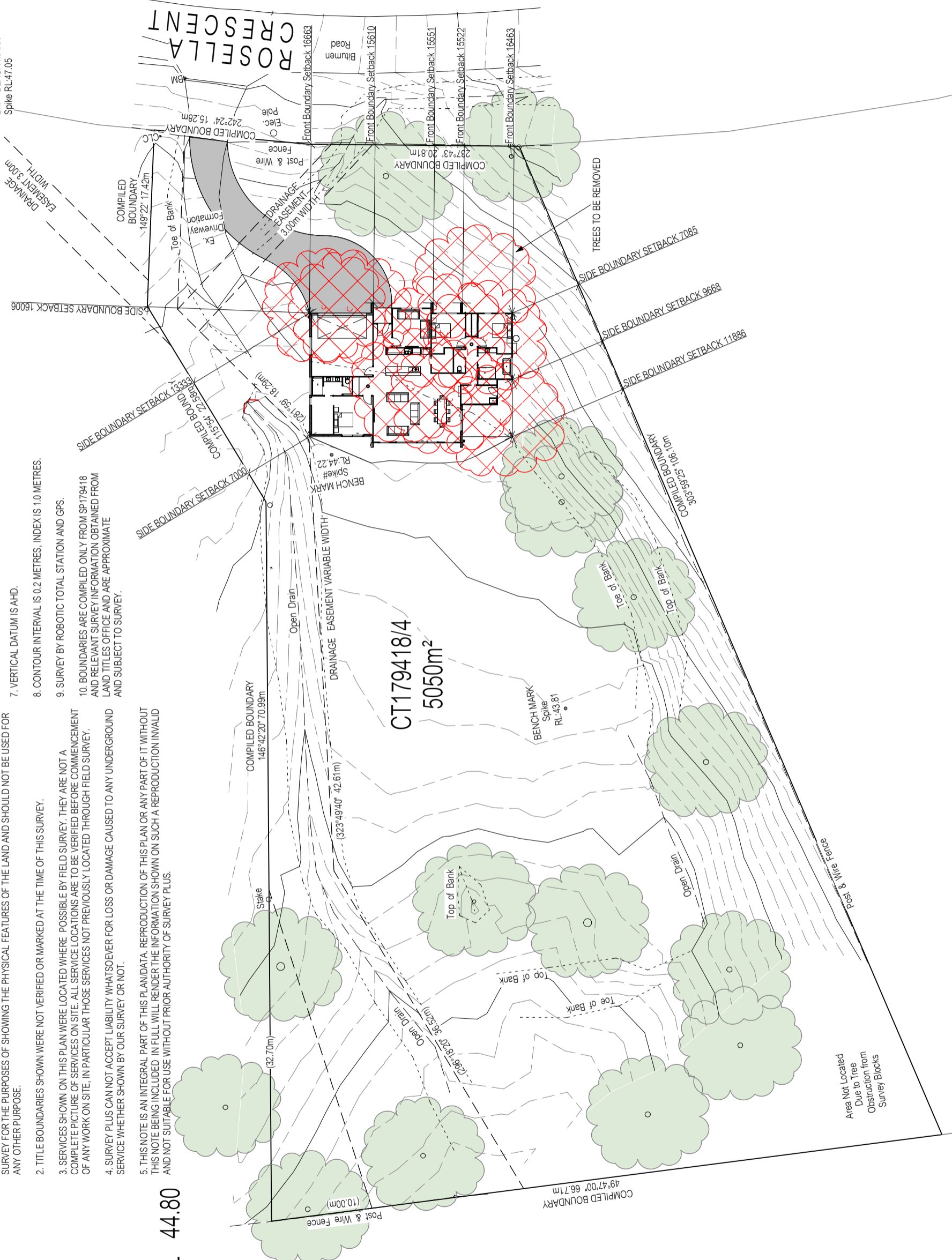
1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY, THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE. IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).
7. VERTICAL DATUM IS AHD.
8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.
9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
10. BOUNDARIES ARE COMPILED ONLY FROM SP179418 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

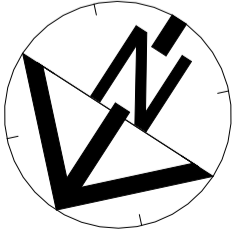
LEGEND

- FP = Fire Plug
- CLC = Comms Lot Connection
- BM = BENCH MARK
- Spike RL: 47.05

GPS DATA SCALE LOCATION
 GPS SCALE POINT: SPIKE#
 GPS SCALE FACTOR = 1.00040102
 DATUM = GDA94 MGA55
 E: 522242.788
 N: 5264695.525
 RL: 44.22
 EPU = 0.04±
 HEIGHT REFERENCE: SPM9371



Ground Floor FFL 44.80



<p>LOCATION PLAN</p> <p>Drawn: SW AP2024-2324</p> <p>Date: 21 February 2024</p> <p>Scale: 1:400</p> <p>Sheet: 01/03</p>	<p>JOSCON T A S M A N I A</p>	<p>Client / Project info</p> <p>PROPOSED DWELLING 17 Rosella Crescent OLD BEACH</p>	<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 665230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</p>	<p>Notes</p> <ul style="list-style-type: none"> • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer. 	<p>Amendment changes as per cover sheet</p>			
						<p>No. _____</p>	<p>Date _____</p>	<p>Int. _____</p>
						<p>Area Not Located Due to Tree Obstruction from Survey Blocks</p>		

GPS DATA SCALE LOCATION
 GPS SCALE POINT: SPIKE#
 GPS SCALE FACTOR = 1.00040102
 DATUM = GDA94 MGA55
 E: 522242.788
 N: 5264595.525
 EPU = 0.04+
 HEIGHT REFERENCE: SPM9371

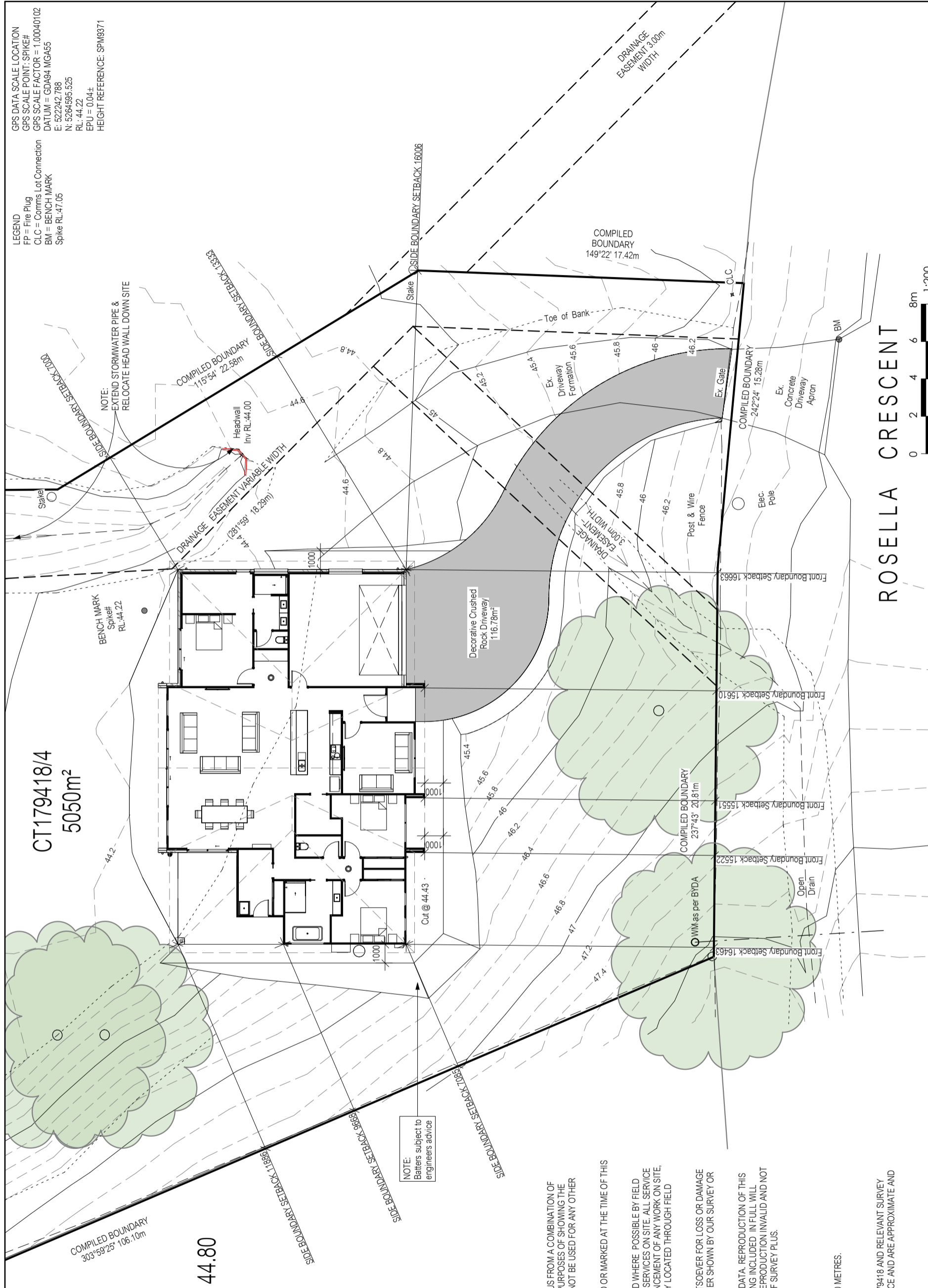
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NOTE:
 EXTEND STORMWATER PIPE &
 RELOCATE HEAD WALL DOWN SITE

NOTE:
 Batters subject to
 engineers advice

Ground Floor FFL 44.80

CT179418/4
 5050m²



ROSELLA CRESCENT



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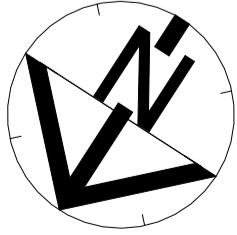
Client / Project info
 PROPOSED DWELLING
 17 Rosella Crescent
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SITE PLAN	
Drawn	SW AP2024-2324
Date	21 February 2024
Scale	Sheet 1: 200 01a/03

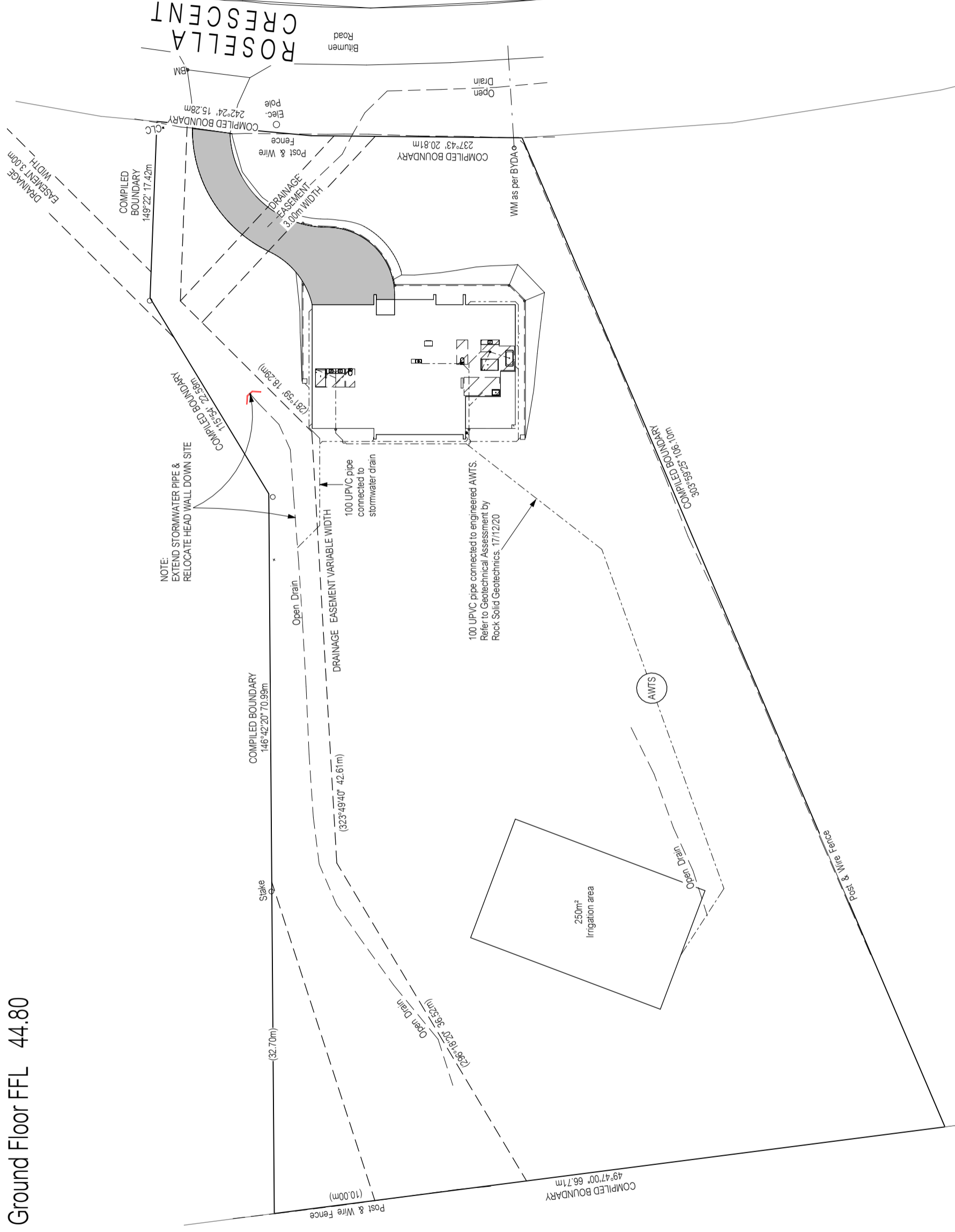


No.	Date	Int.
B	28 June 2024	SW
A	22 Mar. 2024	SW
		Int.

Amendment changes as per cover sheet



Ground Floor FFL 44.80



No.	Date	Int.

Amendment changes as per cover sheet

Notes

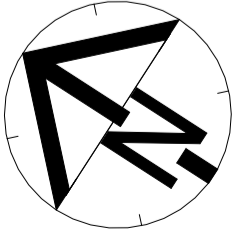
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Client / Project info
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 17 Rosella Crescent
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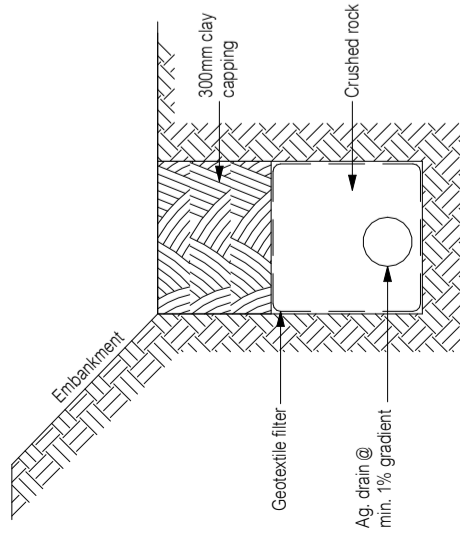
DRAINAGE LOCATION PLAN	
Drawn	SW AP2024-2324
Date	01 July 2024
Scale	1:400
Sheet 01b/03	



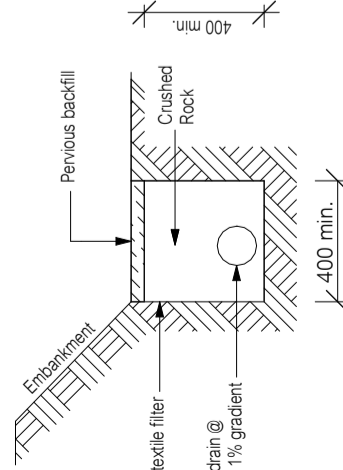
COMPILED BOUNDARY
303°59'25" 106.10m

Where ag drain is < 1.5m from footing, the following engineering principles are required:

1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.



TYPICAL AG. DRAIN DETAIL
(< 1800 FROM HOUSE)
Not to scale

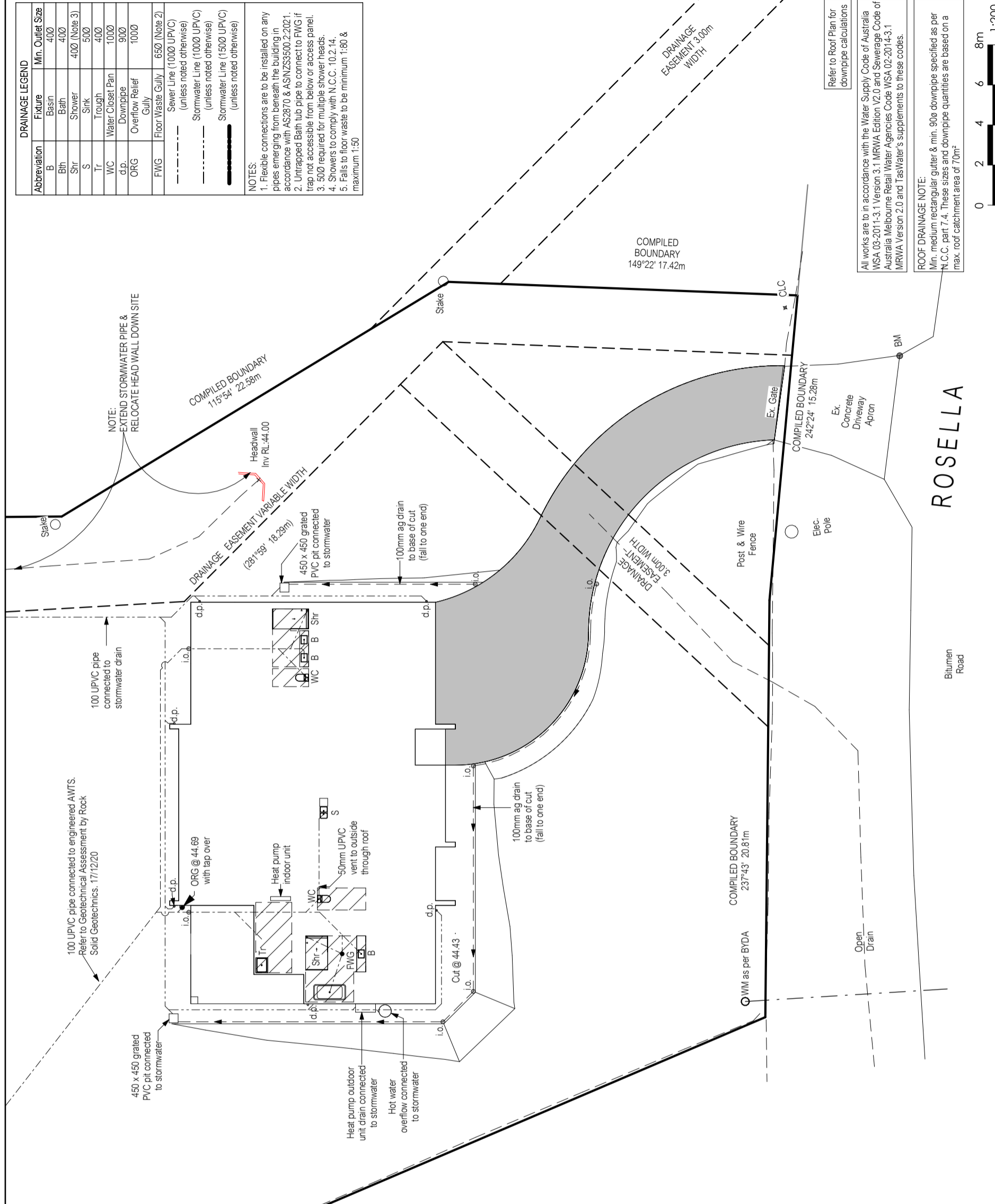


TYPICAL AG. DRAIN DETAIL
(> 1800 FROM HOUSE)
Not to scale

DRAINAGE LEGEND	
Abbreviation	Fixture / Min. Outlet Size
B	Basin 400
Bth	Bath 400
Shr	Shower 400 (Note 3)
S	Sink 500
Tr	Trough 400
WC	Water Closet Pan 1000
d.p.	Downpipe 900
ORG	Overflow Relief 1000
FWG	Floor Waste Gully 650 (Note 2)
---	Sewer Line (1000 UPVC) (unless noted otherwise)
---	Stormwater Line (1000 UPVC) (unless noted otherwise)
---	Stormwater Line (1500 UPVC) (unless noted otherwise)

NOTES:
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.
3. 500 required for multiple shower heads.
4. Showers to comply with N.C.C. 10.2.14.
5. Falls to floor waste to be minimum 1:80 & maximum 1:50

NOTE:
EXTEND STORMWATER PIPE & RELOCATE HEAD WALL DOWN SITE



Refer to Roof Plan for downpipe calculations

All works are in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

ROOF DRAINAGE NOTE:
Min. medium rectangular gutter & min. 90e downpipe specified as per N.C.C. part 7.4. These sizes and downpipe quantities are based on a max. roof catchment area of 70m²



DRAINAGE PLAN	
Drawn	SW AP2024-2324
Date	01 July 2024
Sheet	01c/03
Scale	1:200

JOSCON
T A S M A N I A

Client / Project info	
Client	PROPOSED DWELLING
Address	17 Rosella Crescent OLD BEACH

Designer:	
Company	ANOTHER PERSPECTIVE PTY LTD
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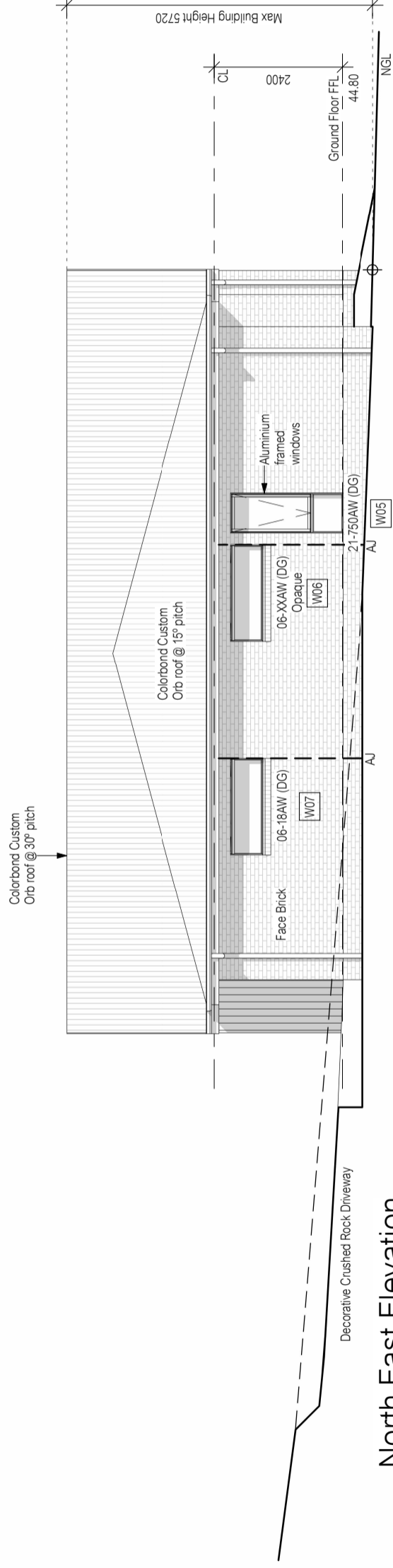
- Wet areas to comply with NCC 10.2 and AS3740

Soil classification: P
Refer to Soil Report for nominated founding depth and description of founding material.
All Materials and construction to comply with AS/NZS3500 Part 2 & Part 3
Amendment changes as per cover sheet

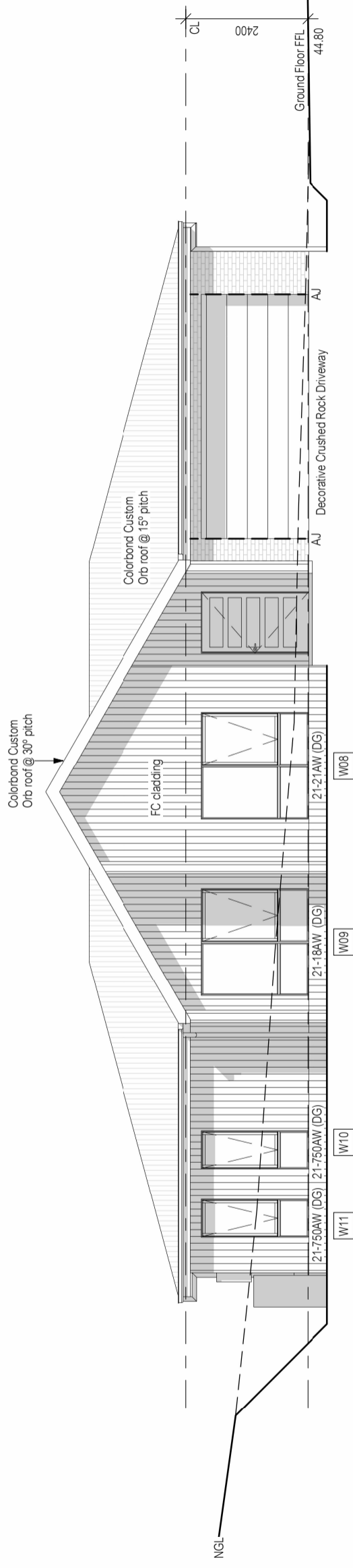
No.	Date	Int.

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

NOTE:
XX on W06 denotes need for
site measure to ensure fit.



North East Elevation



South East Elevation

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:
AJ - Articulation Joint
BV - Brick Vent

Shadows shown for stylisation purposes only


Amendment changes as per cover sheet

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OLD BEACH



ELEVATIONS SHEET 1

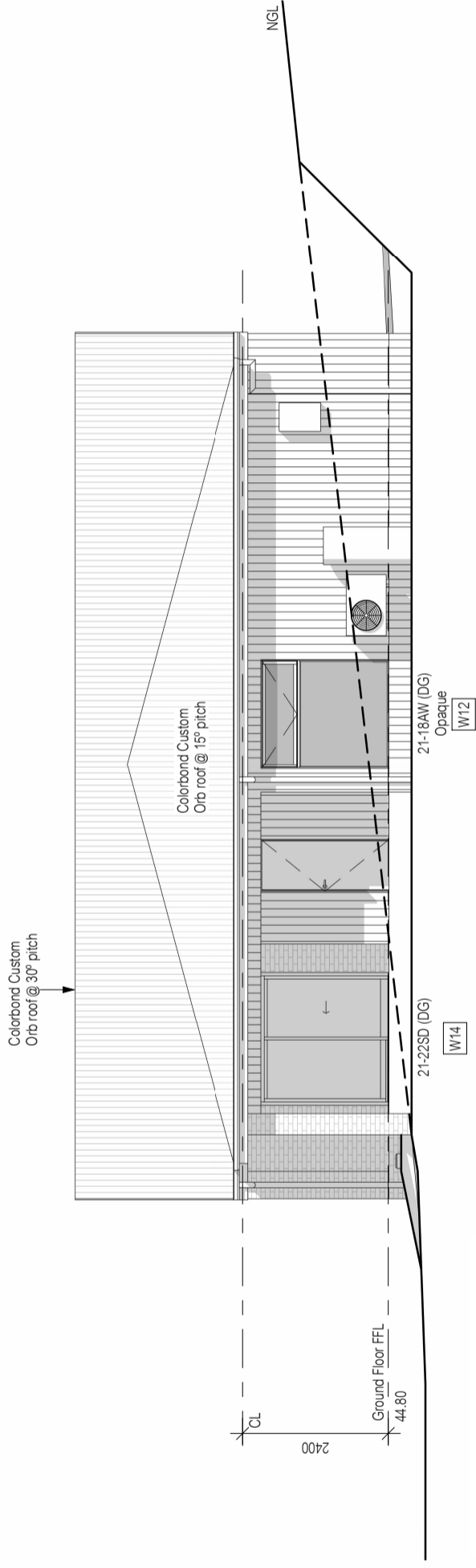
Drawn	SW	AP2024-2324
Date	21 February 2024	Sheet
Scale	1 : 100	03/03

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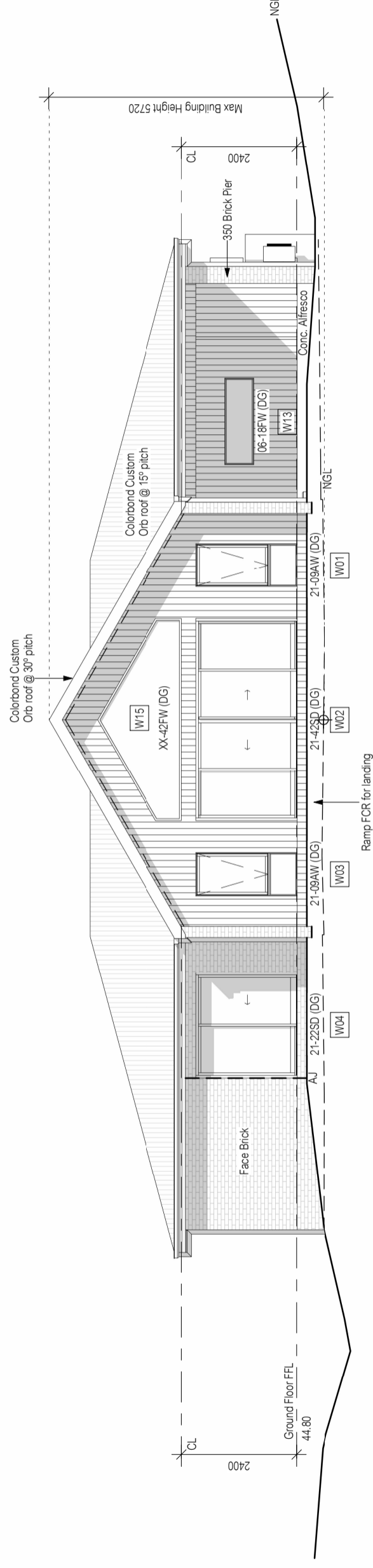
A	22 Mar 2024	SW
No.	Date	Int.

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
F.C Sheet	tbc

NOTE:
XX on W15 denotes need for
site measure to ensure fit.



South West Elevation



North West Elevation

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:
AJ - Articulation Joint
BV - Brick Vent

Shadows shown for visualisation purposes only
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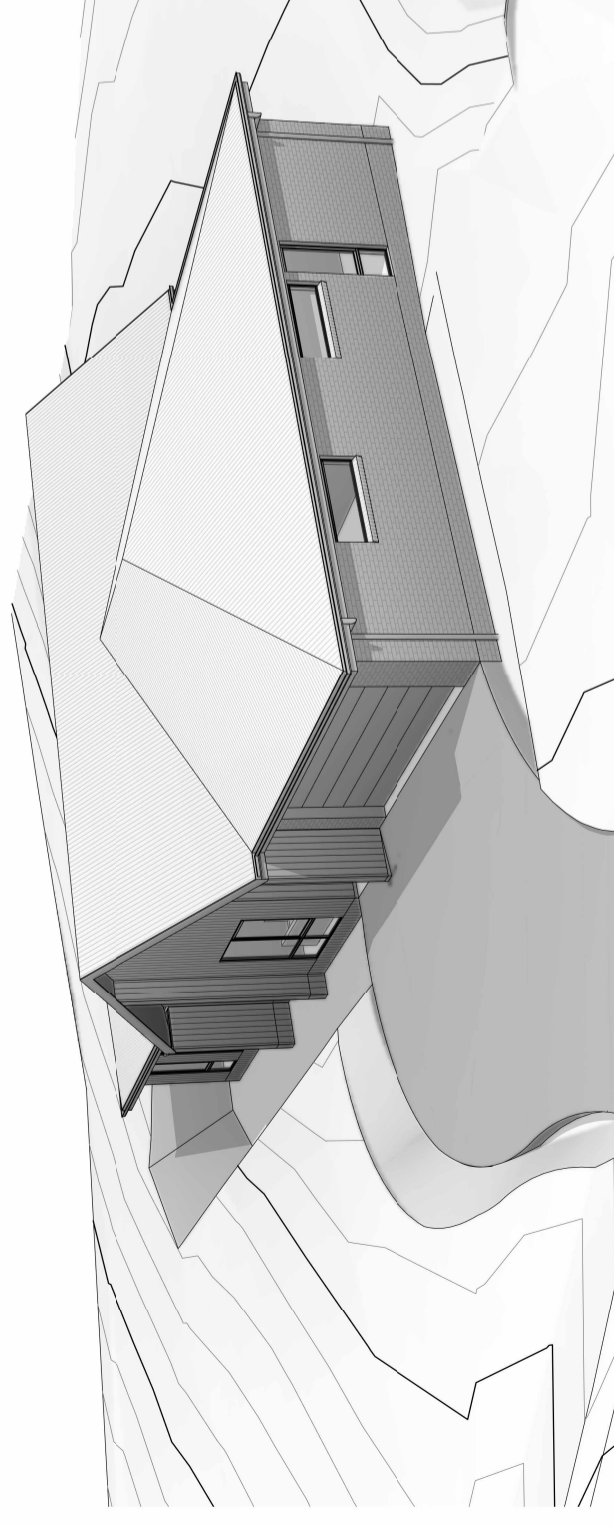
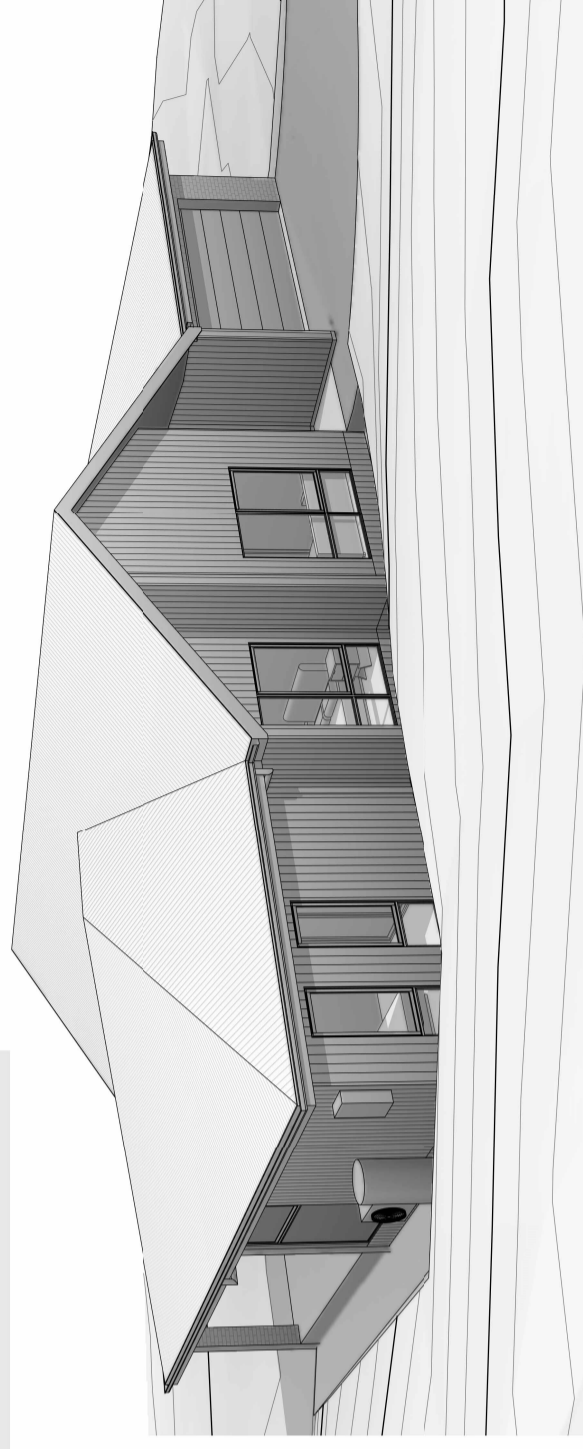
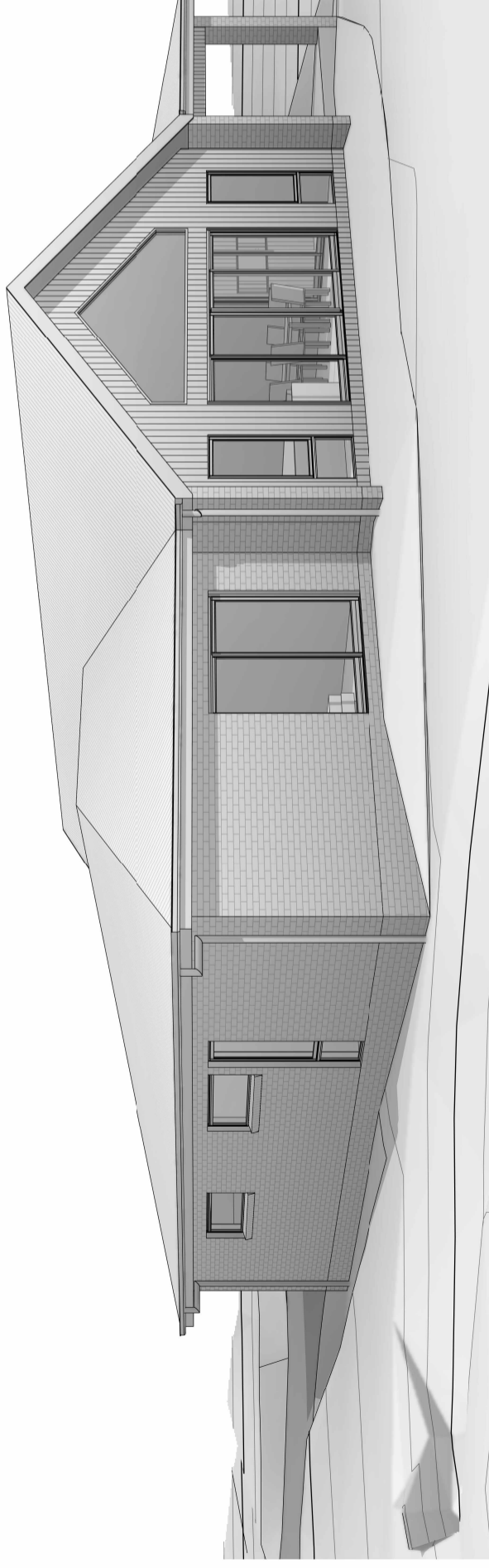
ELEVATIONS SHEET 2

Drawn	SW	AP2024-2324
Date	21 February 2024	Sheet
Scale	1 : 100	03a/03

Copyright ©



A	22 Mar 2024	SW
No.	Date	Int.



B	28 June 2024	SW
A	22 Mar. 2024	SW
No.	Date	Int.

Amendment changes as per cover sheet

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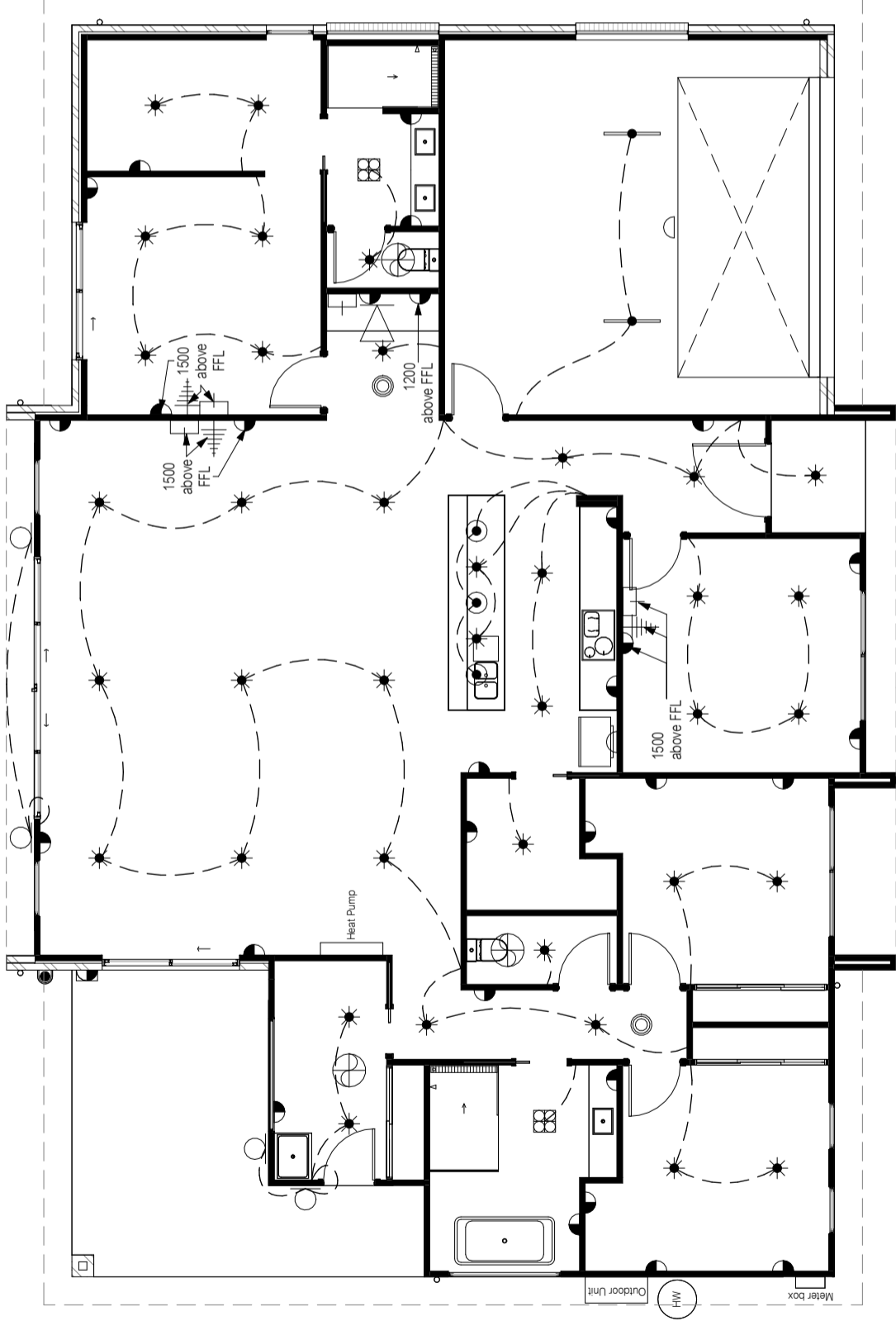


PERSPECTIVE VIEWS	
Drawn	SW AP2024-2324
Date	15 March 2024 Sheet
Scale	03b/03
Copyright ©	

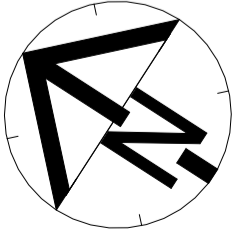
LEGEND (W = Wattage e.g. 35W = 35 Watts.)

- STANDARD CEILING LIGHT POINT (30W)
- DOWNLIGHT POINT (UNVENTED) (35W)
- ★ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
- PENDANT LIGHT (30W)
- WALL LIGHT POINT (30W)
- 2 x 900mm FLUORESCENT LIGHT POINT (36W)
- 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
- ◐ SINGLE POWER POINT
- ◑ DOUBLE POWER POINT
- ◒ DOUBLE POWER POINT WITH USB
- ◓ WATER PROOF POWER POINT
- ⊙ MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
- ⊕ FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- ⊖ TV CONNECTION POINT
- ⊗ NBN/TELEPHONE CONNECTION POINT
- ⊘ SENSOR LIGHT
- ⊙ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- ⊕ FLOOD LIGHT
- ⊖ CAT 6 CONNECTION POINT
- ▶ TREAD LIGHTS (2W)
- ◼ DUCTED VACUUM POINT
- ▣ SECURITY SYSTEM KEYPAD
- ⚡ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:
 25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.



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	Drawn	SW	AP2024-2324									
Date	01 July 2024	Sheet										
Scale	1 : 100	09/03										

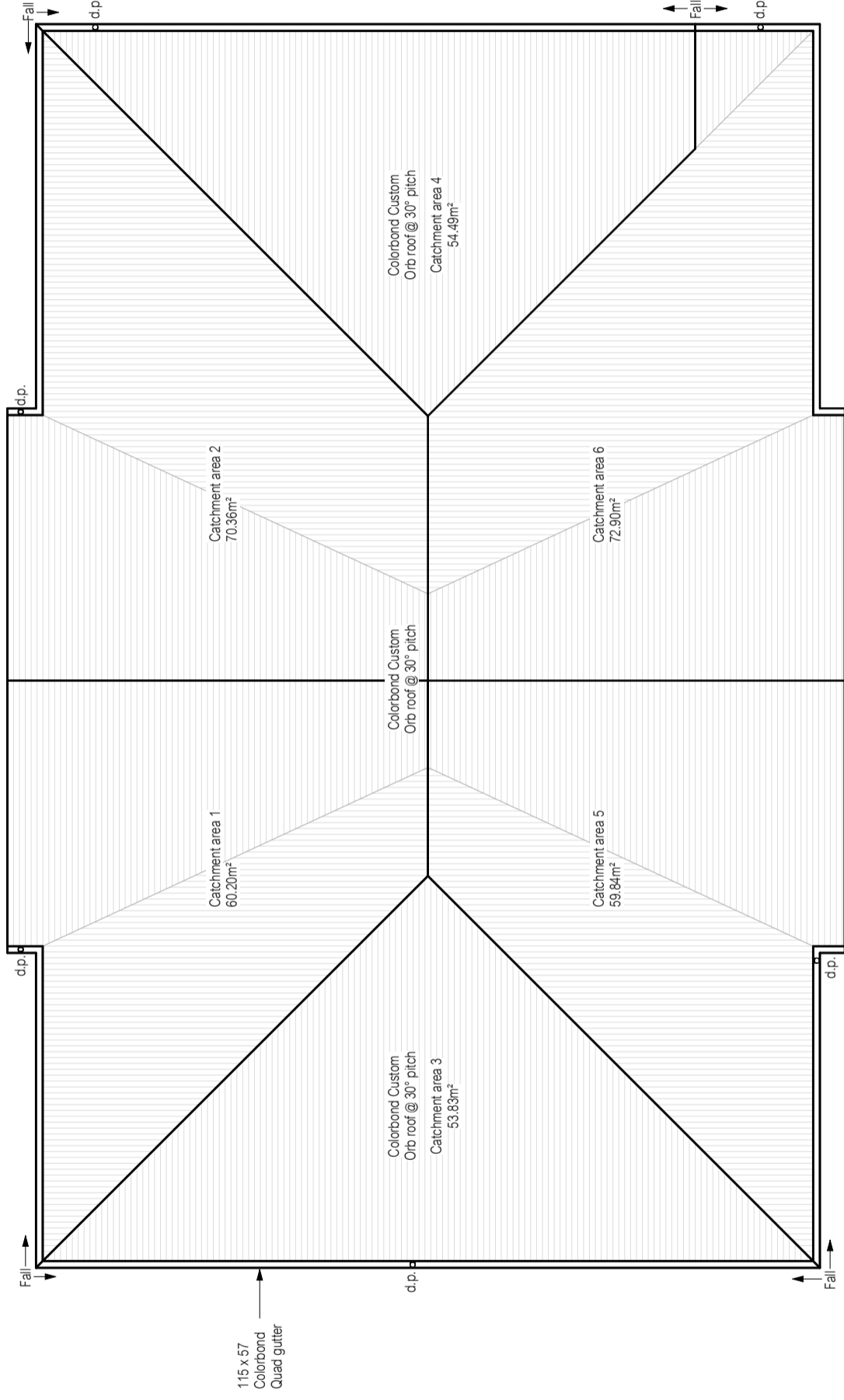


GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Table 7.4.6:
Controlled front bead height with the front bead of the gutter installed a minimum of 10mm below the top of the fascia.

Batten fixings:
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

Batten spacing:
75 x 38 F8 @ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.



115 x 57 Colorbond Quad gutter

Position and quantity of downpipes are not to be altered without consultation with designer.

Area's shown are surface areas / catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)	
Ah ¹	284.83 Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	290.84 Area of Roof (including 115mm Quad gutter) (m ²)
Ac	375.18 Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555 Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	83.2 Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	77 Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	4.87 Ac ÷ Acdp
Downpipes Provided	6

ROOF VENTILATION GUIDE:
Ventilation calculations must be read in conjunction with CBOS - Condensation in Buildings - Tasmanian Designers' Guide - Version 2 (published April 2019).

Continuous gap:
Supply Exhaust
Continuous gap at eaves is:
25mm for <16° pitch
10mm for >16° pitch

OR

Roof vents:
The minimum vent area should be:
a) Ceiling area/150 for <16° pitch, or
b) Ceiling area/300 for >16° pitch

Supply Exhaust
75% of ventilation should be supply
25% of ventilation should be exhaust

Vent at gable should be within 900mm of ridge.

ROOF VENTILATION CALCULATION

Roof vents:	220.74m ²
Ceiling Area:	30°
Roof Pitch:	0.56m ²
Supply area required (75%):	0.18m ²
Exhaust area required (25%):	
Example	
Vent Width	200mm
Vent Length	400mm
Vent area	0.08m ²
Opening	50%
Supply number required	14 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge
AS3959 compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones.	

Notes

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- All materials to be installed according to manufacturers specifications.
- Do not scale from these drawings.
- No changes permitted without consultation with designer.

Designer:
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Client / Project info
PROPOSED DWELLING
17 Rosella Crescent
OLD BEACH

ROOF PLAN

Drawn	SW	AP2024-2324
Date	22 March 2024	Sheet
Scale	1 : 100	11/03



No. Date Int. Amendment changes as per cover sheet