



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/102

LOCATION OF AFFECTED AREA

4 BEVEL CLOSE, BRIDGEWATER

DESCRIPTION OF DEVELOPMENT PROPOSAL

WAREHOUSE (MACHINERY SALES)

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **28TH AUGUST 2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au.

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager



Brighton
going places

Proposed development

showroom sales

Brighton Investments No 2 Pty Ltd
3 BEVEL PLACE

Brighton 7030
PROJECT SPECIFIC

Planning permit required IN ACCORDANCE WITH IPLAN
Land Title reference number : (ct) Vol **185053** / Folio 4
SITE: LOT 5, 3300.00 sqm
NCC DEEMED TO SATISFY Mr Marcus Ralph CC1317F
Climate Zone 7

SITE INFORMATION

Lot: **05**
Title: **185053 folio 04**
Land Size: 3300.00 sqm

Council: **Brighton Council**
Zoning: 15.0 General Industrial

Overlays:
D.A APPROVAL:
BAL:
WIND CLASSIFICATION :
CLIMATE ZONE: 7
ENERGY RATING :Na
BUILDING CLASSIFICATION: tba

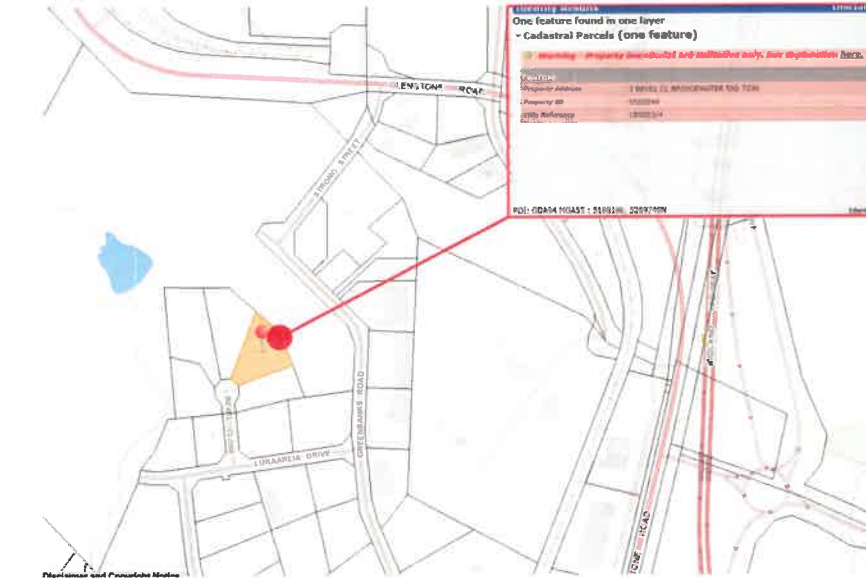
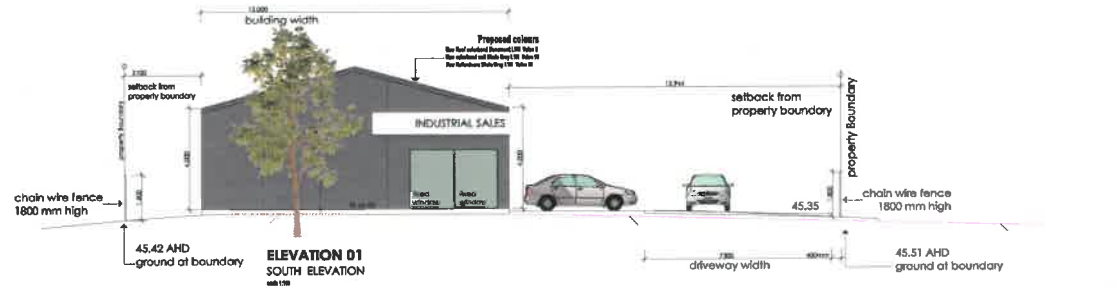
SITE INFORMATION

Proposed Building 240.00 sqm
Site Area 4369.90 sqm
Total Proposed site cover 240.00 sqm
Site Coverage 5.49 %

Impervious Area
Roof Area 240.00 sqm
Driveway Area 570.00 sqm



Artist Impression

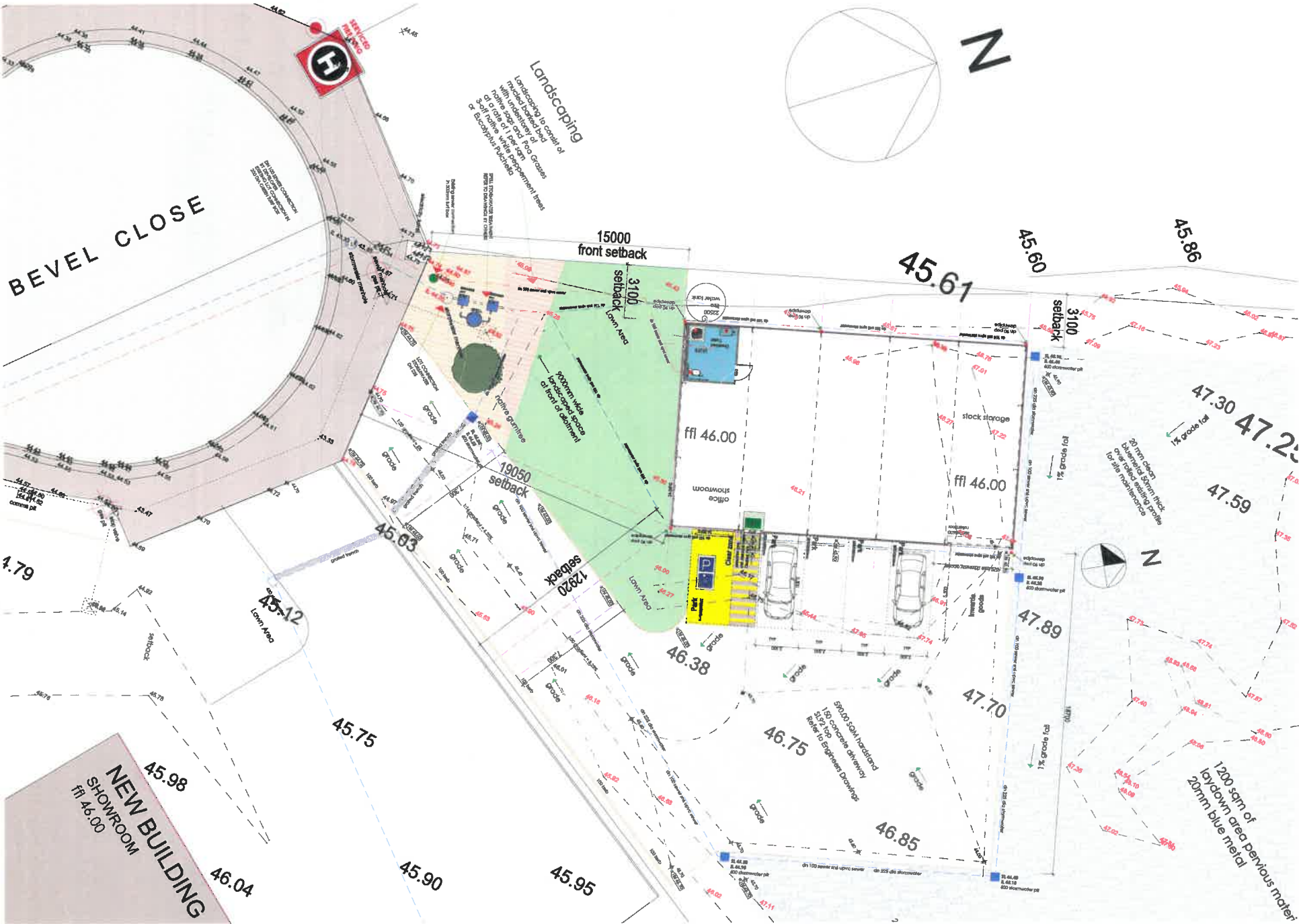


location plan

Layout	ID	Drawing Name	Last Updated	Scale
928-01 Drawing List	1	Drawing List	14/05/2024 3:59 ...	1:0.76
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	3	Storeys (9)	14/05/2024 3:55 ...	1:748.54
928-02 Site Plan Levels 1:200	1	Storeys (1)	14/05/2024 3:57 ...	1:200
928-03 Site Plan Levels	1	Storeys (2)	14/05/2024 3:58 ...	1:100
928-04 Site Plan 1:200	1	Storeys (2)	14/05/2024 3:58 ...	1:200
928-05 Driveway Longsections	1	Storeys (7)	14/05/2024 3:58 ...	1:100
928-06 Driveway Levels	1	Storeys (3)	14/05/2024 3:59 ...	1:100
928-07 Floor Plan	1	Storeys (4)	14/05/2024 3:59 ...	1:100
928-08 Elevations	1	Storeys (5)	14/05/2024 3:59 ...	1:100
	2	Storeys (5)	14/05/2024 3:59 ...	1:100
	3	Storeys (6)	14/05/2024 3:54 ...	1:200
928-09 Elevations	1	Storeys (6)	14/05/2024 3:54 ...	1:200
	2	Storeys (6)	14/05/2024 3:54 ...	1:100
	3	Storeys (6)	14/05/2024 3:54 ...	1:100
928-10 Turning Template	1	Storeys (10)	14/05/2024 3:52 ...	1:200
928-11 Turning Template	1	Storeys (10)	14/05/2024 3:52 ...	1:200
928-12 Turning Template	1	Storeys (12)	14/05/2024 3:51 ...	1:200
928-13 Turning Template	1	Storeys (12)	14/05/2024 3:51 ...	1:200
928-14 Turning Template	1	Storeys (12)	14/05/2024 3:51 ...	1:200
928-15 Landscape Plan				



Proposed development
Brighton Investments No 2 Pty Ltd
3 BEVEL PLACE
Brighton 7030
Drawing List
date
4/12/2023 planning issue-AD1
completed and drawn
M.Ralph
job no
2024-362
Drawing no
928-01



BEVEL CLOSE

Landscaping
Landscaping to consist of
matured landscape trees
with underplanted grass
or a mix of lawn grasses
5-6 ft high, with a minimum
of 20% canopy coverage
& Eucalyptus included

15000
front setback

3100
setback
Lawn area

200mm wide
landscape-grade
or front of abutment

19050
setback

17820
setback
Lawn area

ffi 46.00

45.61

45.60

45.86

3100
setback

47.30
47.25
1% grade fall

47.59



4.79

45-12
Lawn area

45.83

46.38

47.89

47.70

46.75

46.85

45.75

45.90

45.95

NEW BUILDING
SHOWROOM
ffi 46.00

45.98

46.04

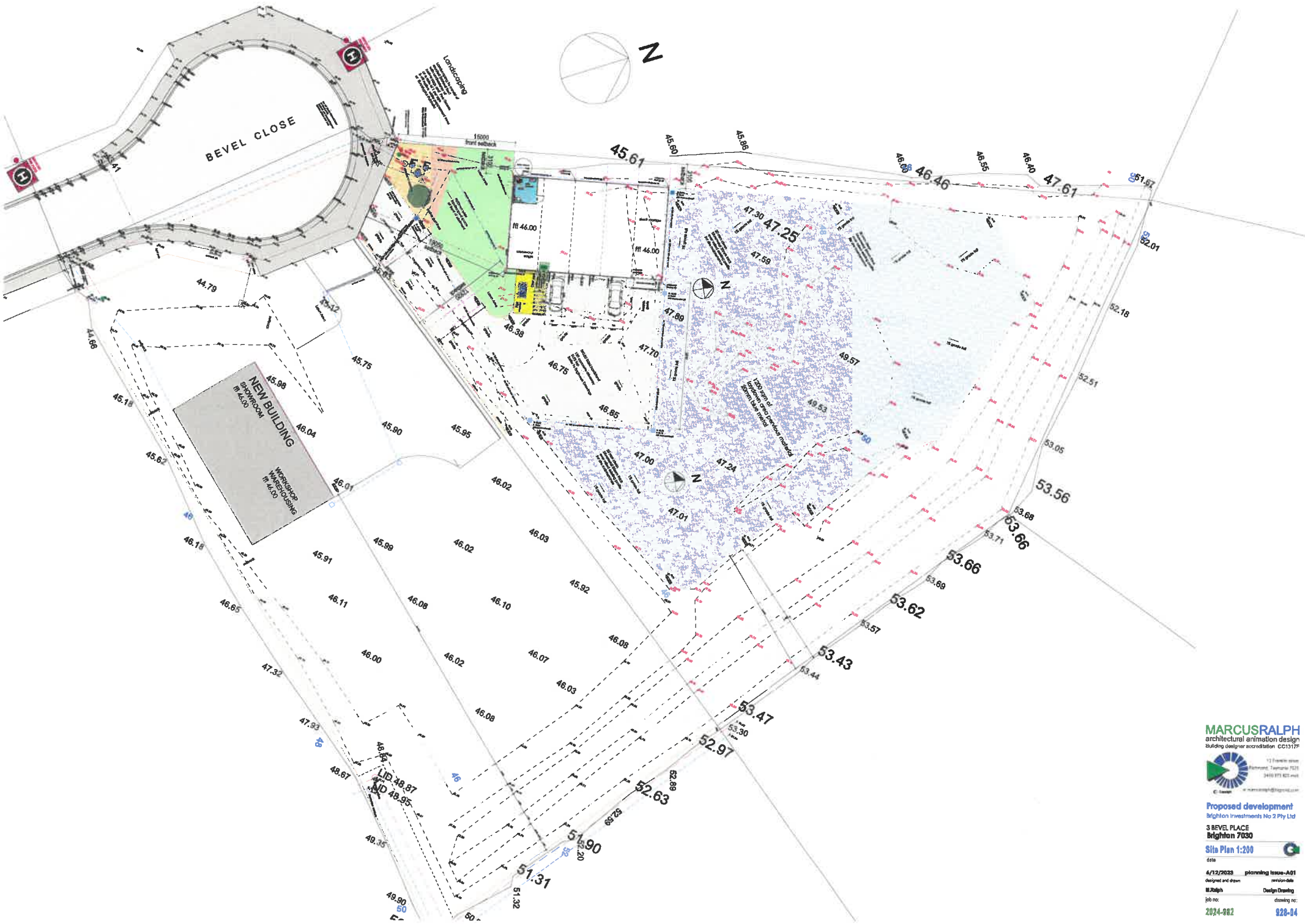
MARCUSRALPH
architectural animation design
Building designer accreditation CC1317F

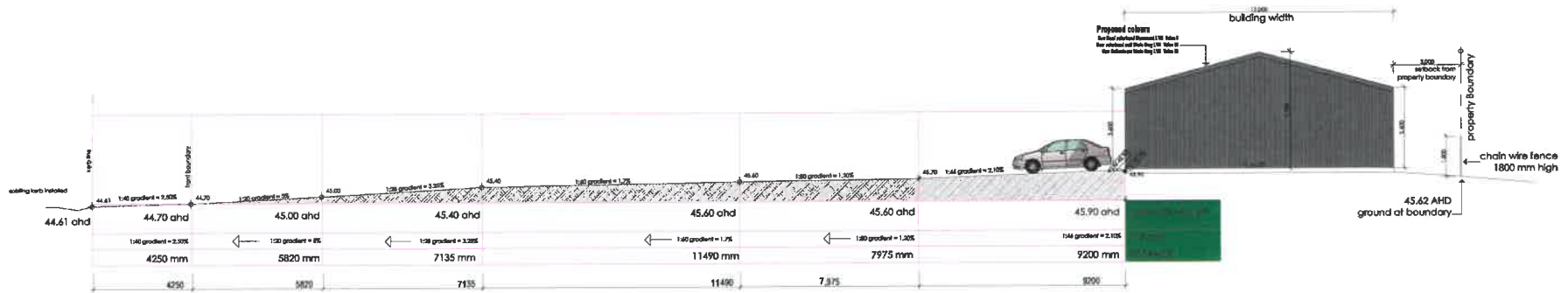
15 Fyfeville Road
Richmond, Tasmania 7025
PH: 03 935 9151
www.marcusralph.com.au

Proposed development
Brighton Investments No 2 Pty Ltd
3 BEVEL PLACE
Brighton 7030

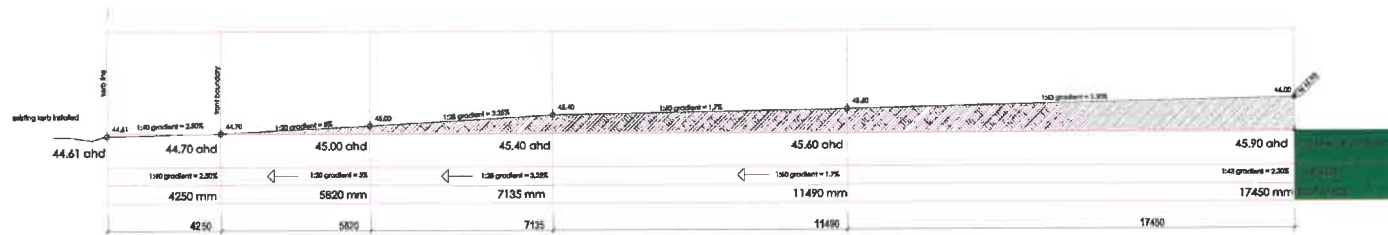
Site Plan Levels

4/12/2023 planning issue-A01
concept and design
M.Ralph Design Drawing
job no 2024-982
drawing no 920-03





Longitudinal Section through driveway



Longitudinal Section through driveway



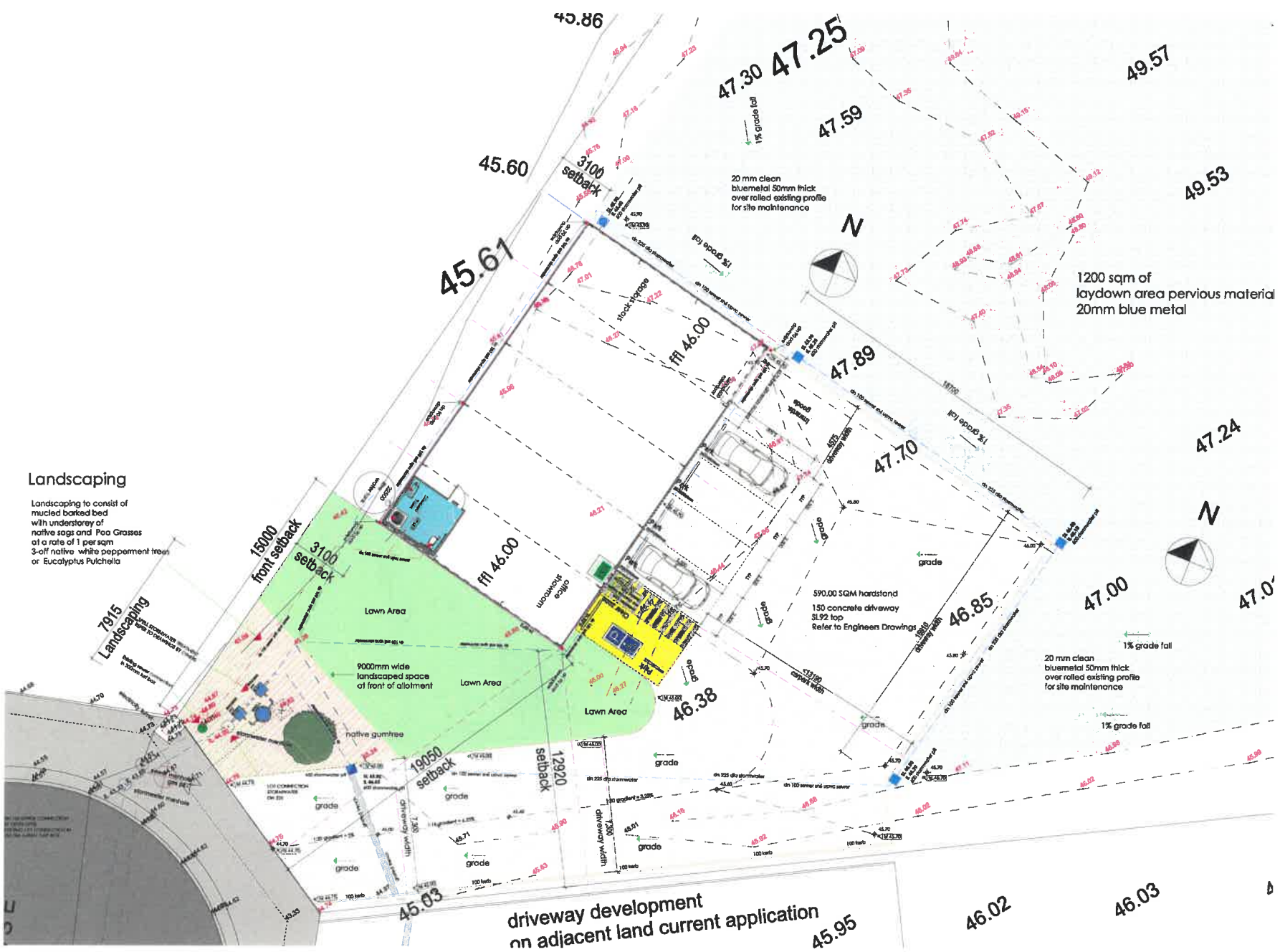
Proposed development
Brighton Investments No 2 Pty Ltd
3 BEVEL PLACE
Brighton 7030

Driveway Longsections

Date: 4/12/2023 planning issue-A01
designed and drawn: rml/mca/dsh
checked: M.Ralph Design Drawing
job no: 2024-082 drawing no: 024-05

Landscaping

Landscaping to consist of mulched barked bed with understorey of native sags and Poa Grasses at a rate of 1 per sqm
 3-off native white peppermint trees or Eucalyptus Pulchella



7915 Landscaping
 1500mm wide landscaped space of front of allotment

15000 front setback
3100 front setback

Lawn Area
Lawn Area
Lawn Area

19050 setback
12820 setback

driveway development on adjacent land current application

20 mm clean blue metal 50mm thick over rolled existing profile for site maintenance

1200 sqm of laydown area pervious material 20mm blue metal

590.00 SQM hardstand
 150 concrete driveway
 SL92 top
 Refer to Engineers Drawings

20 mm clean blue metal 50mm thick over rolled existing profile for site maintenance

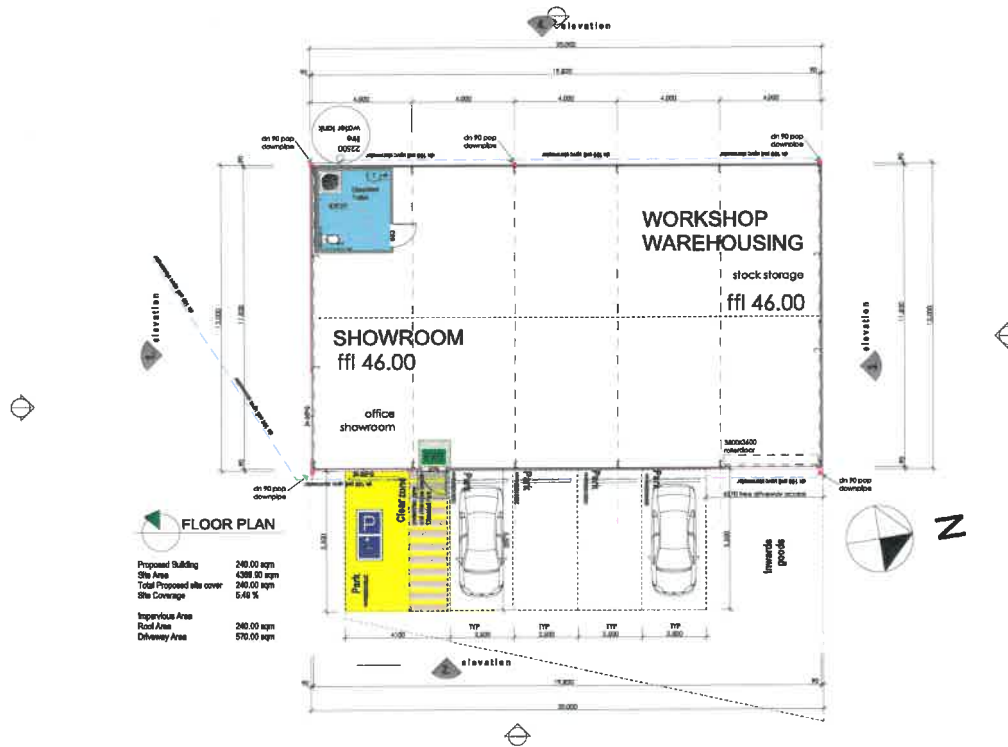
MARCUSRALPH
 architectural animation design
 Building designer accreditation: GC1517F

13 Lakeres Street
 Brighton, Victoria 3185
 0800 875 833 (toll free)
 © Marcus Ralph
 m.ralph@marcusralph.com

Proposed development
 Brighton Investments No 2 Pty Ltd
 3 BEVEL PLACE
 Brighton 7030

Driveway Levels

DATE: 4/12/2023 planning issue-A01
 designed and drawn: m.ralph
 checked: m.ralph
 job no: 2024-082 drawing no: 028-01

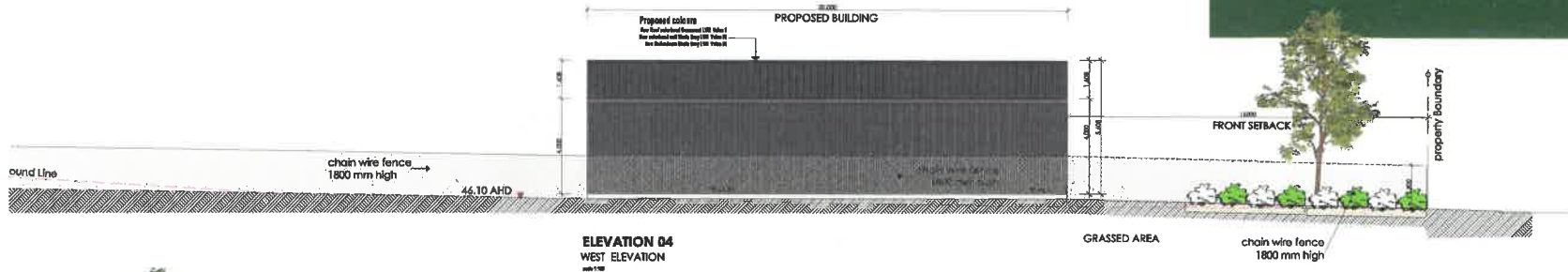


FLOOR PLAN

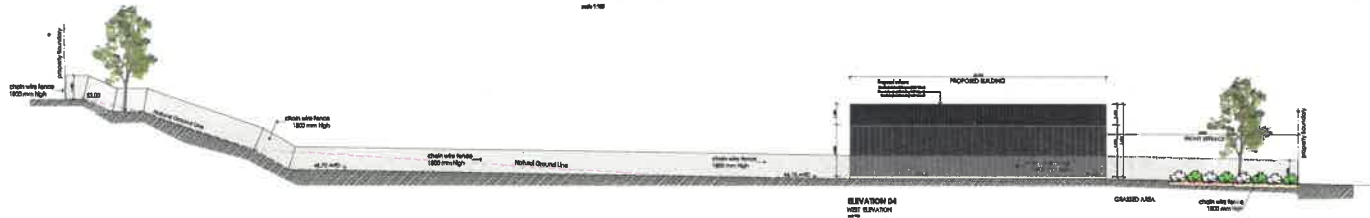
Proposed Building	240.00 sqm
Site Area	4389.00 sqm
Total Proposed site cover	240.00 sqm
Site Coverage	5.46 %
Impervious Area	240.00 sqm
Road Area	570.00 sqm
Driveway Area	570.00 sqm



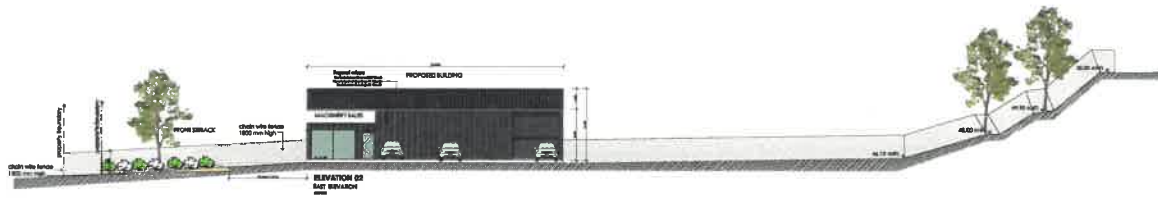
Artist Impression



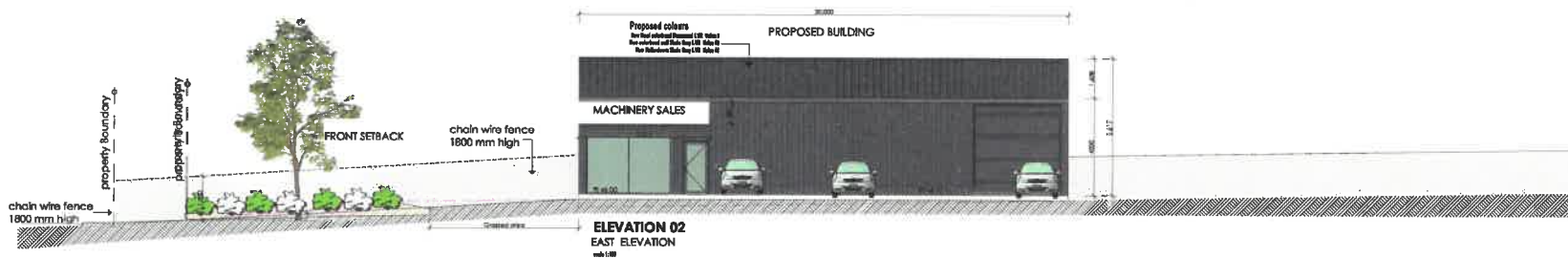
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WEST ELEVATION
scale 1:50



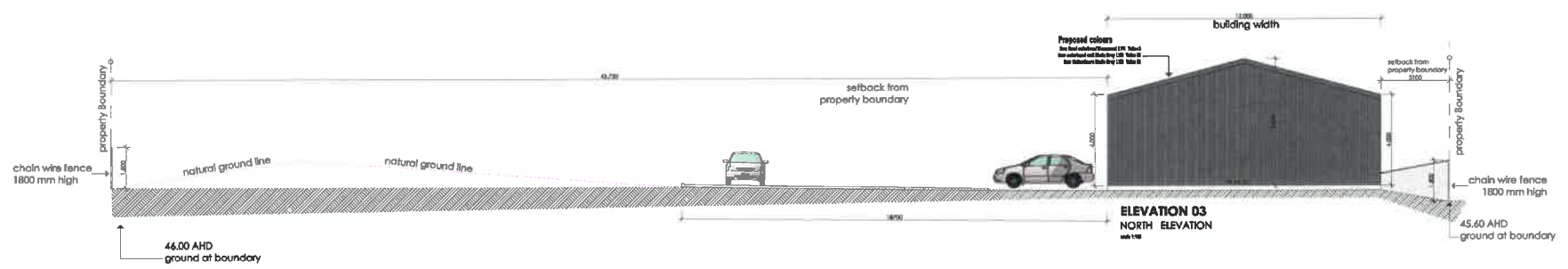
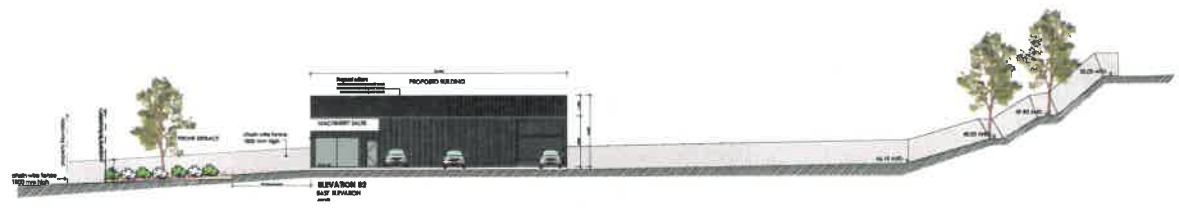
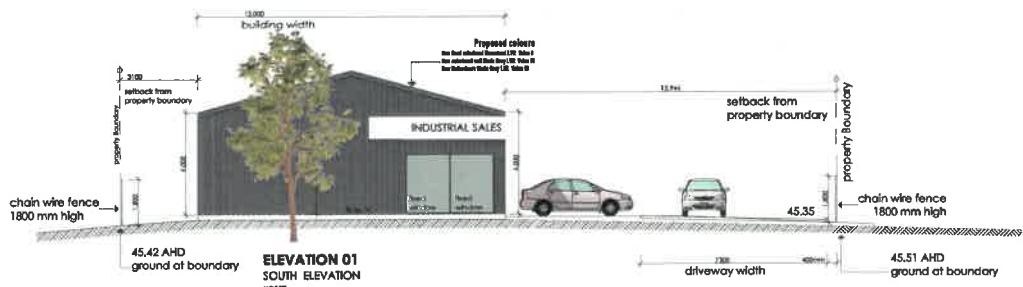
ELEVATION 04
WEST ELEVATION
scale



ELEVATION 03
EAST ELEVATION
scale



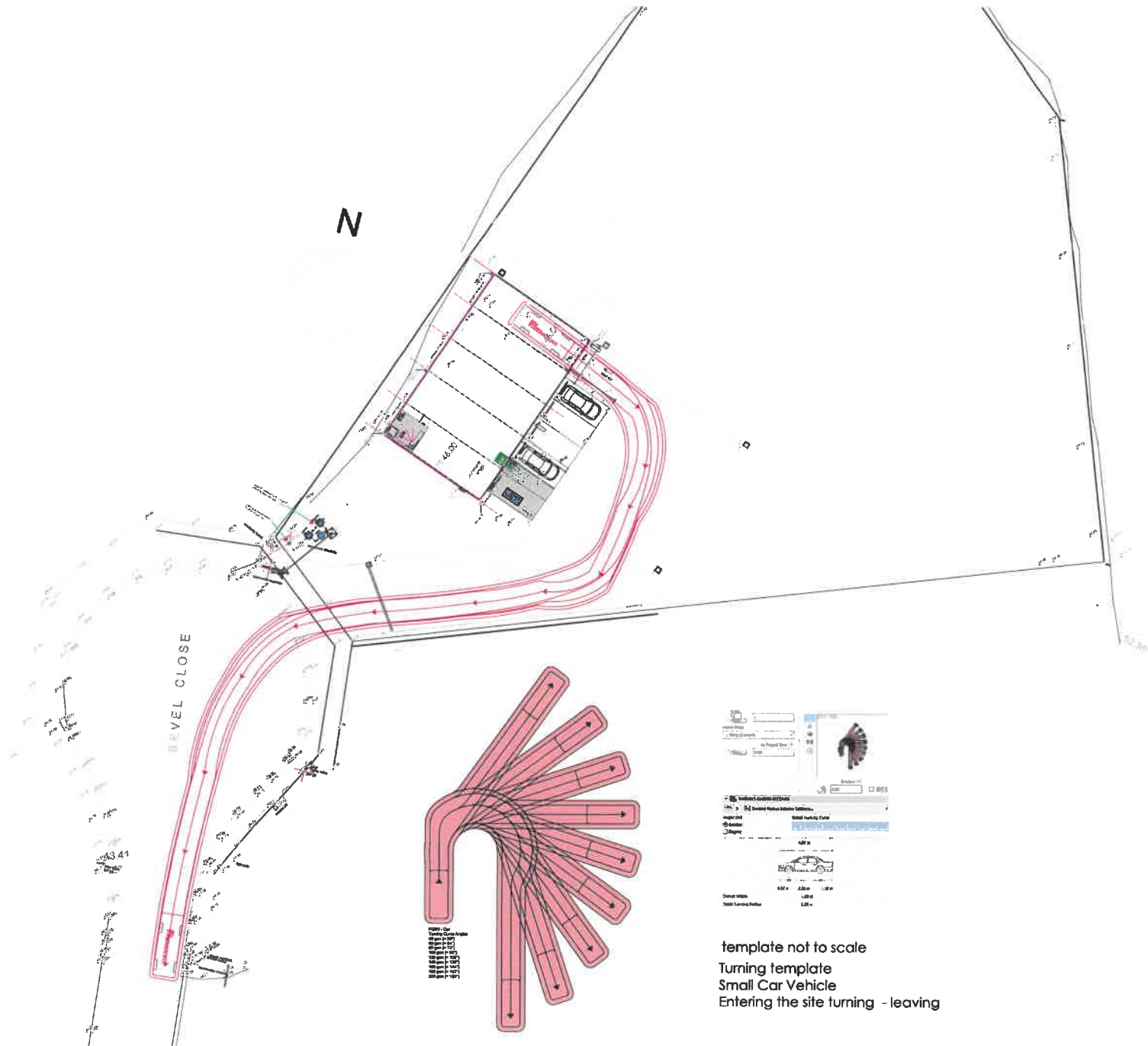
ELEVATION 02
EAST ELEVATION
scale 1:50



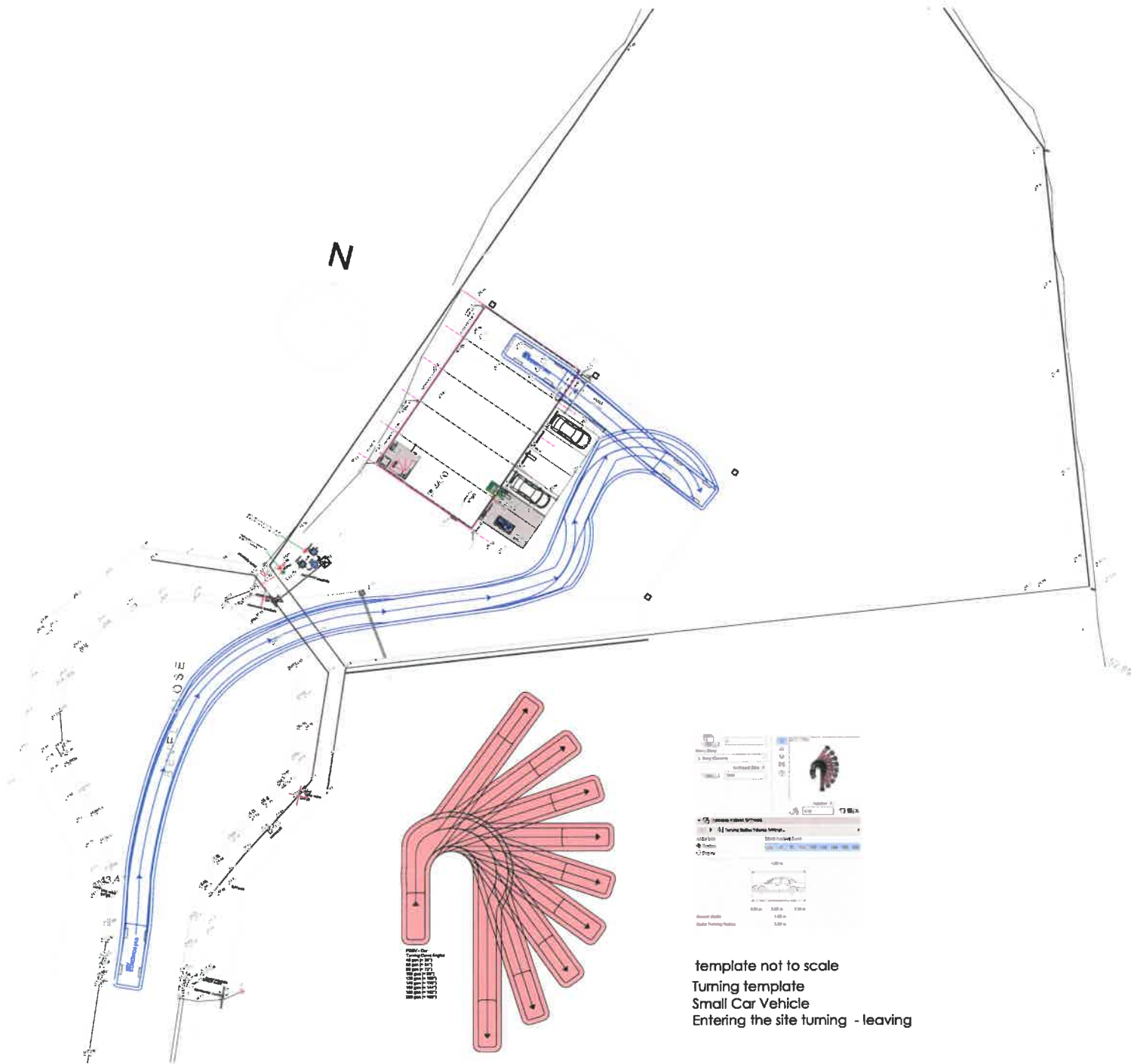
Proposed development
 Blighton Investments No 2 Pty Ltd
 3 BEVEL PLACE
 Blighton 7050

Elevations

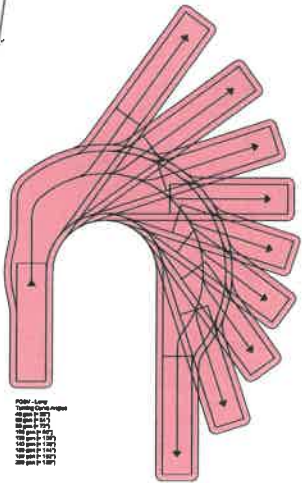
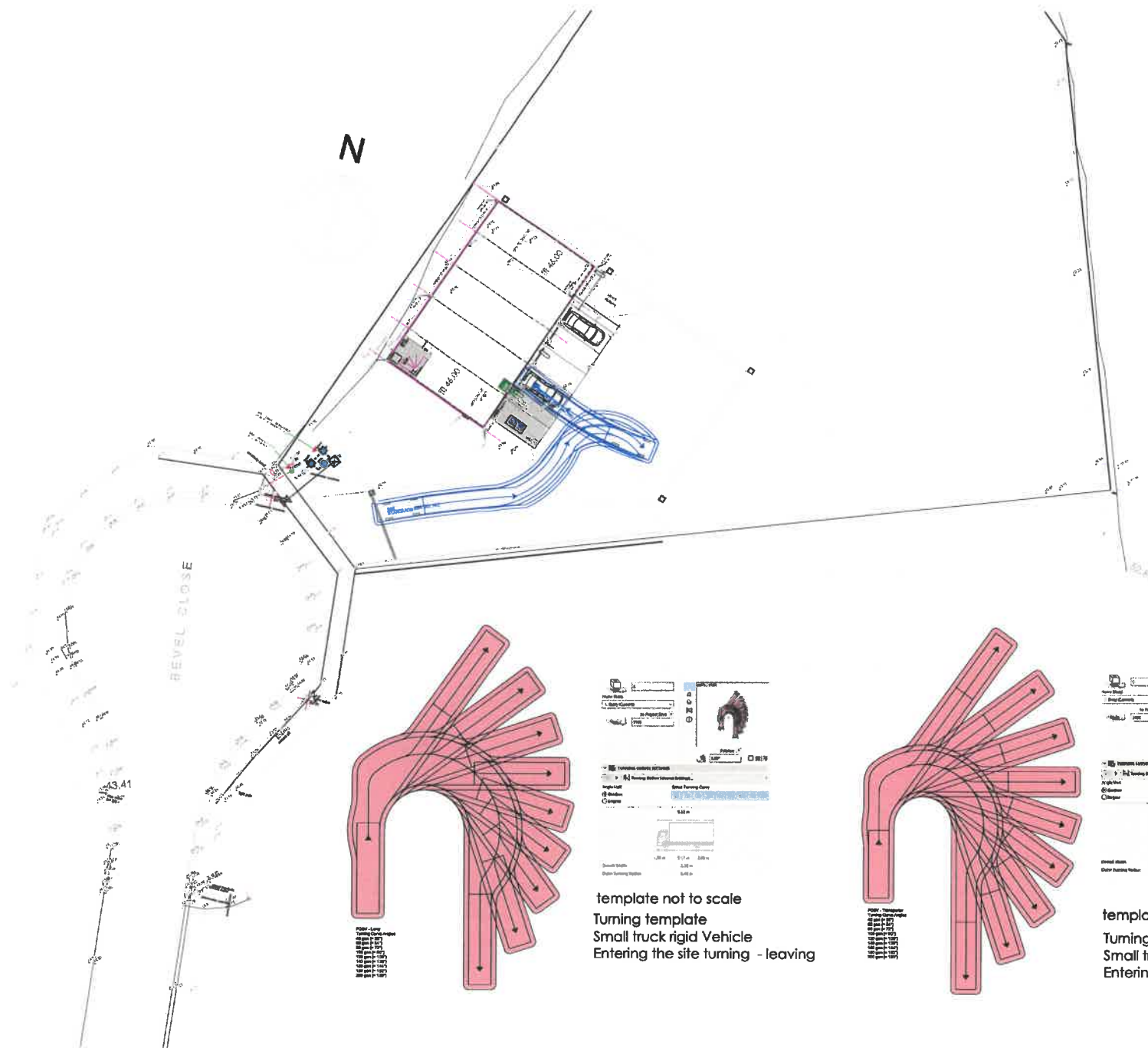
date: 4/12/2023
 checked and drawn: planning issue-A01
 16/Nov/2023
 M.Ralph
 Design Drawing
 job no: 2024-062
 drawing no: 928-49



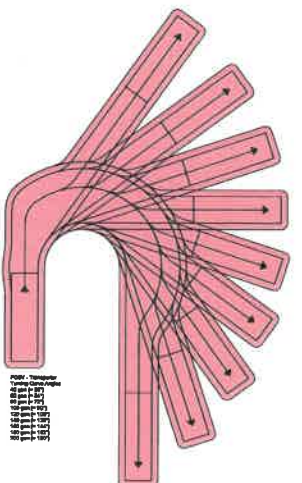
template not to scale
 Turning template
 Small Car Vehicle
 Entering the site turning - leaving



template not to scale
 Turning template
 Small Car Vehicle
 Entering the site turning - leaving

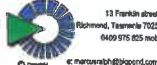


template not to scale
Turning template
Small truck rigid Vehicle
Entering the site turning - leaving



template not to scale
Turning template
Small truck rigid Vehicle
Entering the site turning - leaving

MARCUSRALPH
architectural animation design
Building designer accreditation: CC1317F



13 Franklin Street
Richmond, Tasmania 7025
0400 975 855 mob

© Designer: m.ralph@bigpond.com

Proposed development
Brighton Investments No 2 Pty Ltd

**3 BEVEL PLACE
Brighton 7030**

Turning Template

file

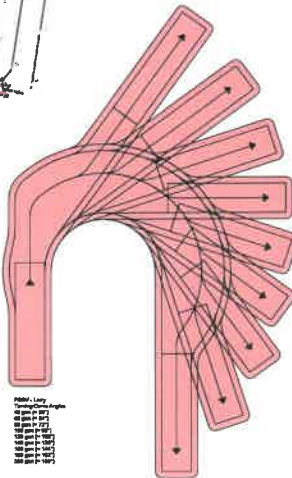
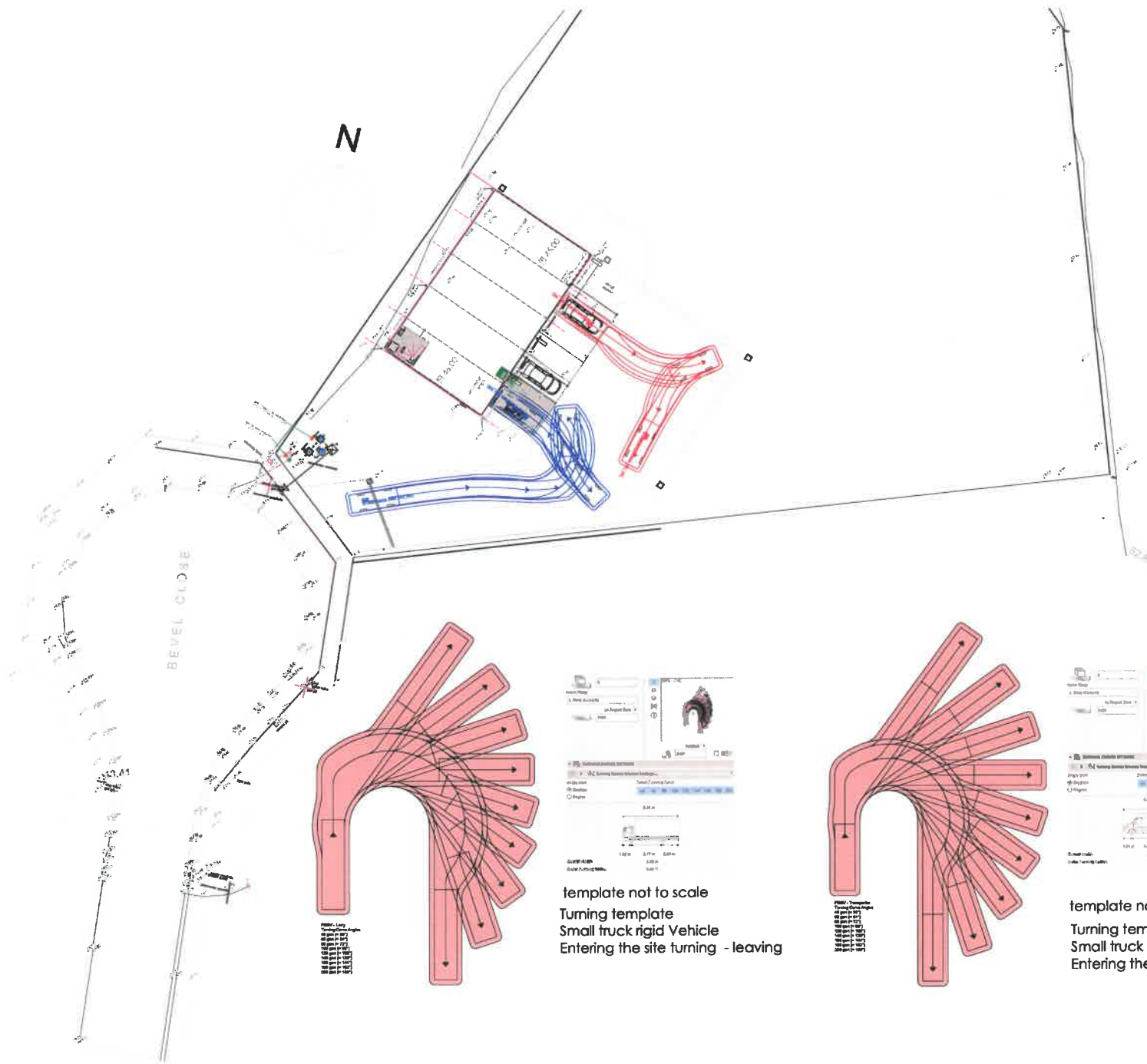
6/12/2023 pilanswiny Issue-A01

designer and drawn revision dem

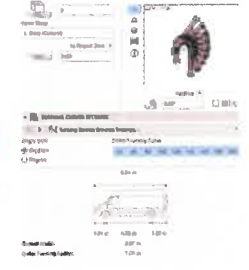
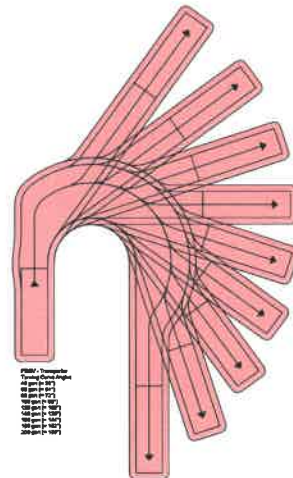
MR Ralph Design Drawing

job no: drawing no:

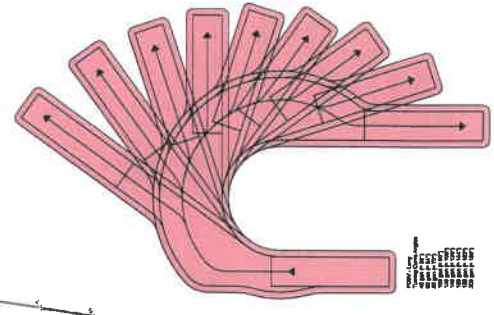
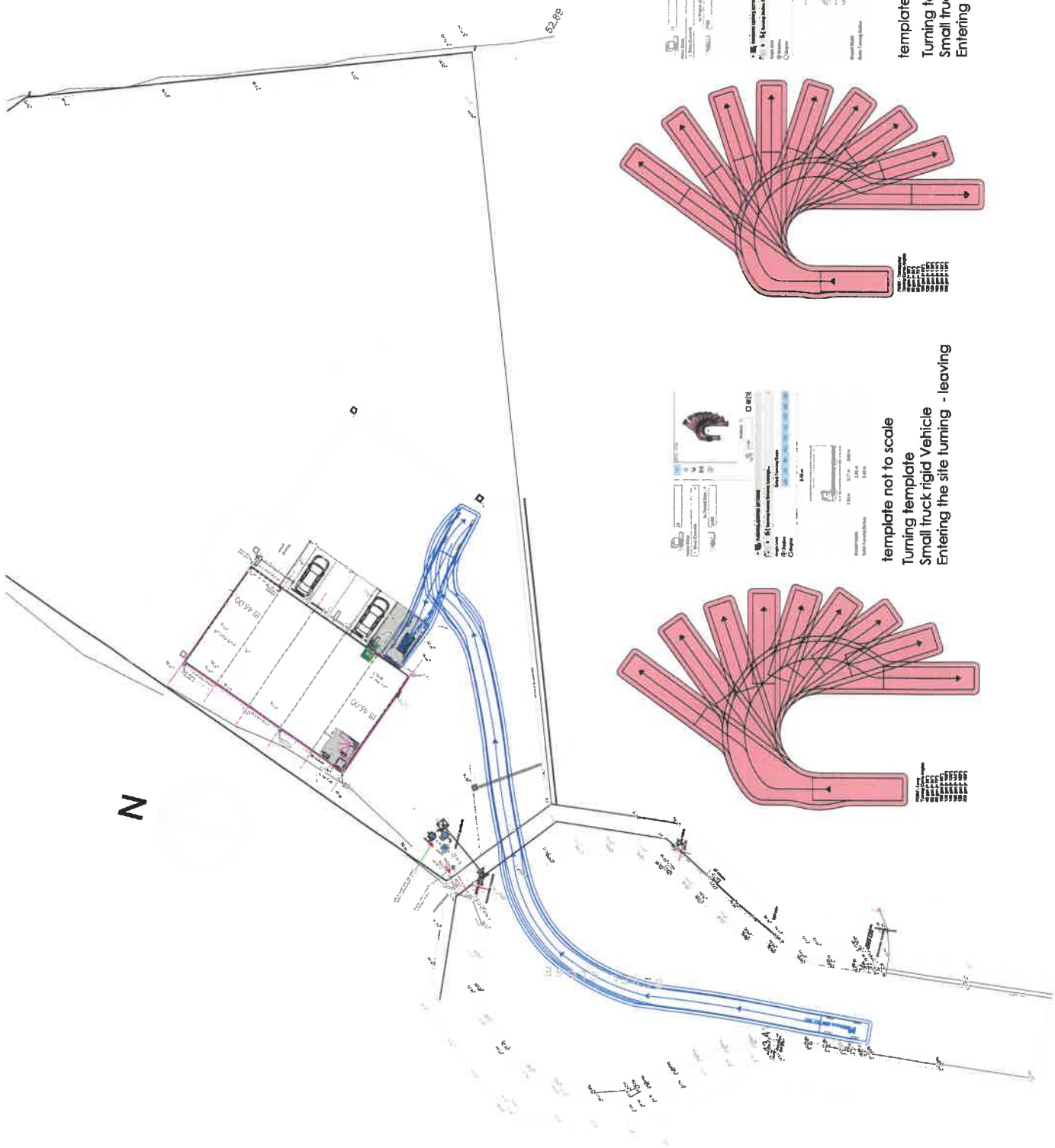
2024-092 920-12



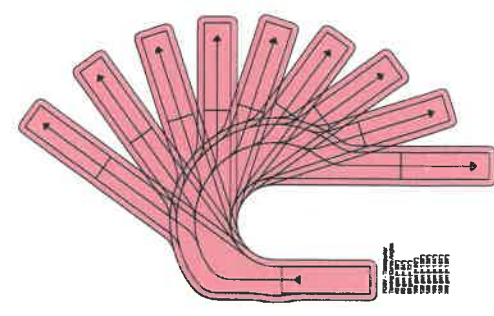
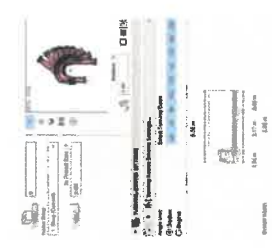
template not to scale
 Turning template
 Small truck rigid Vehicle
 Entering the site turning - leaving



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 Turning template
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 Turning template
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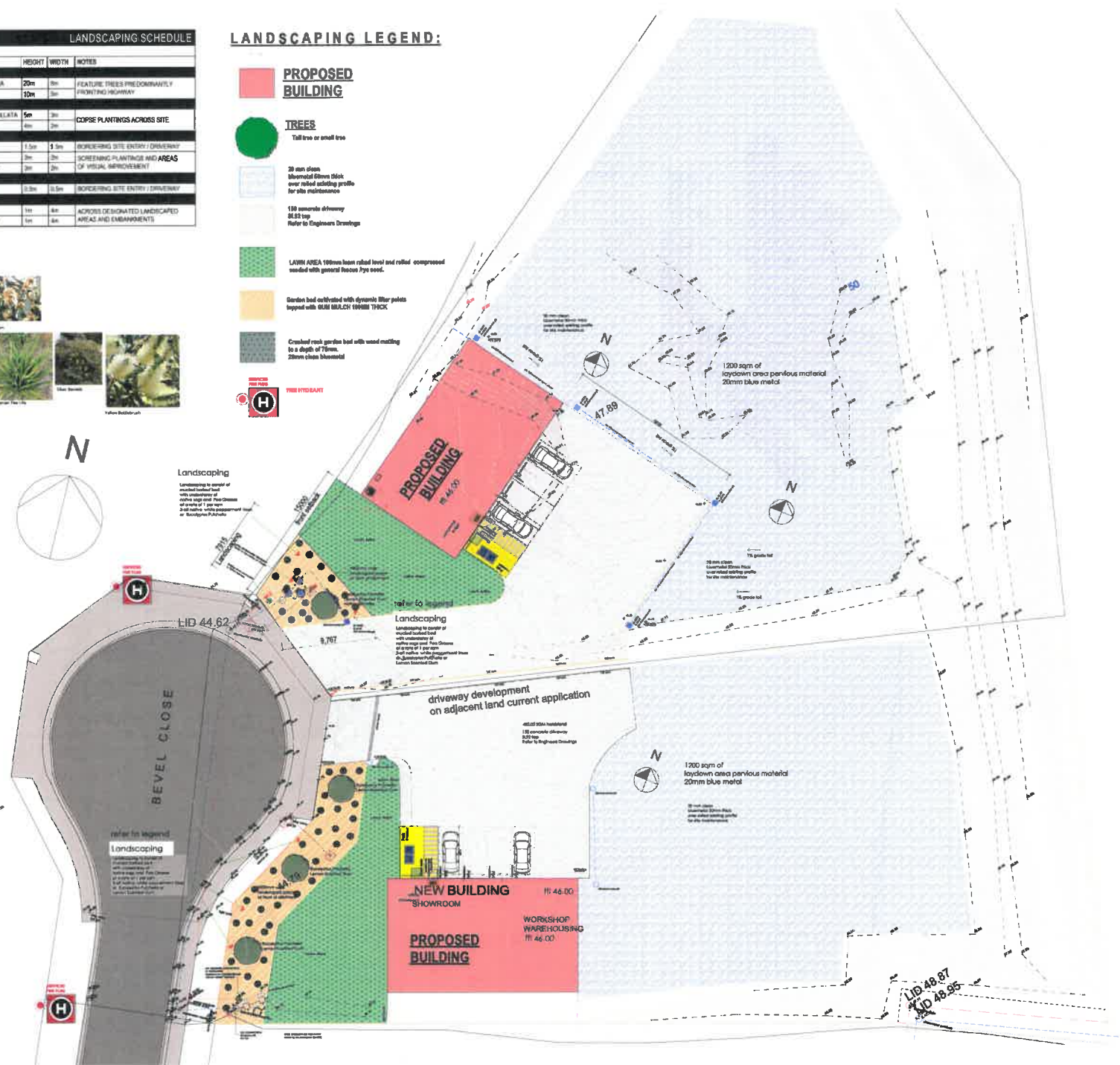


LANDSCAPING SCHEDULE				
LISTED SPECIES MAY NOT ALL BE APPLICABLE				
COMMON NAME	SCIENTIFIC NAME	HEIGHT	WIDTH	NOTES
SMALL TREES				
LEMON-SCENTED GUM	EUCALYPTUS CITRICODORA	20m	8m	FEATURE TREES PREDOMINANTLY
SPOTTED GUM	COPERNA BACULATA	10m	3m	FRONTING HIGHWAY
SMALL SHRUBS				
SIDE GEM	ALLODIBARNIA VERTICALATA	5m	3m	COPIE PLANTINGS ACROSS SITE
SOUTH ESK PINE	CALLITRIS OBLONGA	4m	2m	
SCREENING PLANTS				
WHITE CORREA	CORREA ALBA	1.5m	1.5m	SCREENING SITE ENTRY / DRIVEWAY
SILVER BACCHUS	BACCHUS MARGRITA	3m	2m	SCREENING PLANTINGS AND AREAS OF VISUAL IMPROVEMENT
YELLOW BOTTLEBRUSH	CALLISTEMON PALLOIDUS	3m	2m	
SCREENING SHRUBS				
TASMAN FLAX LILY	DIANELLA TASMANICA	0.5m	0.5m	SCREENING SITE ENTRY / DRIVEWAY
GROUND COVERS				
BRONZE RAMBLETT	GREVILLEA AUSTRALIS	1m	4m	ACROSS DESIGNATED LANDSCAPED AREAS AND EMBANKMENTS
INTERSPIRLOVA	BANKSIA INTERSPIRLOVA	1m	4m	



LANDSCAPING LEGEND:

- PROPOSED BUILDING**
- TREES**
Tall tree or small tree
- 20 mm clean fibreglass Glass block over rebar setting profile for site maintenance
- 150 concrete driveway 30.5t top Refer to Engineers Drawings
- LAWN AREA 100mm lean retail level and retail compressed seeded with general Bonus Pys seed.
- Garden bed outlined with dynamic Blue poles topped with 600M GALVAN 1900MM TRUCK
- Crushed rock garden bed with weed matting to a depth of 70mm. 20mm clean bluestand
- FIRE HYDRANT



MARCUSRALPH
architectural animation design
Building developer accreditation: CC1517F

13 Forest Hill
Wahroona, Tasmania 7525
0818 678 805 mob
© Marcus Ralph
m.ralph@marcusralph.com

Proposed development
Brighton Investments No 2 Pty Ltd
3 BEVEL PLACE
Brighton 7030

Landscape Plan

date: 4/15/2023 planning issue-001
designed and drawn: M.Ralph
job no: Design Drawing
drawing no: 928-15

Atlan

STORMWATER



Atlan WSUD/MUSIC Report

3 Bevel Place, Brighton

PROJECT NUMBER:
24-60926

CLIENT:
Marcus Ralph Design

DATE:
January 15, 2024

Victoria Office
Atlan Stormwater(Formerly SPEL)
897 Wellington Road
Rowville VIC 3178

Telephone: 1300 773 500
sales@atlan.com.au

www.atlan.com.au

WSUD/MUSIC Report | 3 Bevel Place, Brighton

Marcus Ralph Design

Project Site

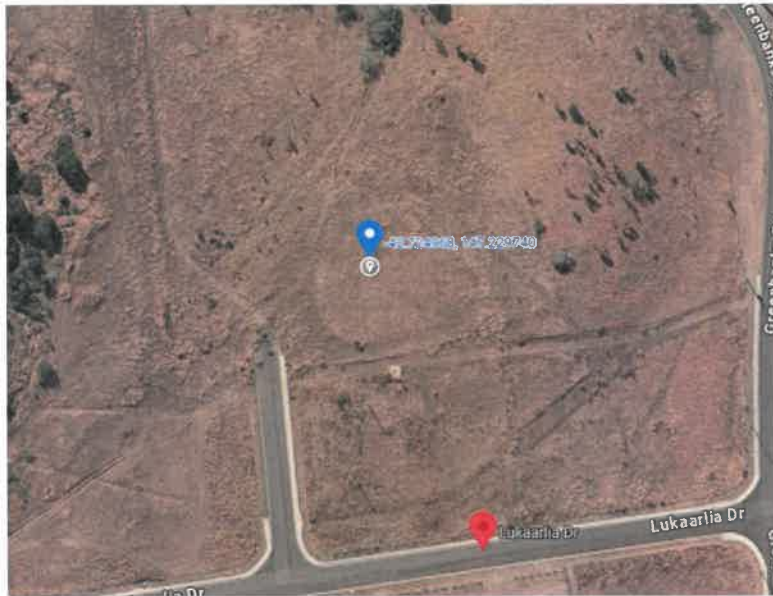


Figure 1: Existing Site Conditions

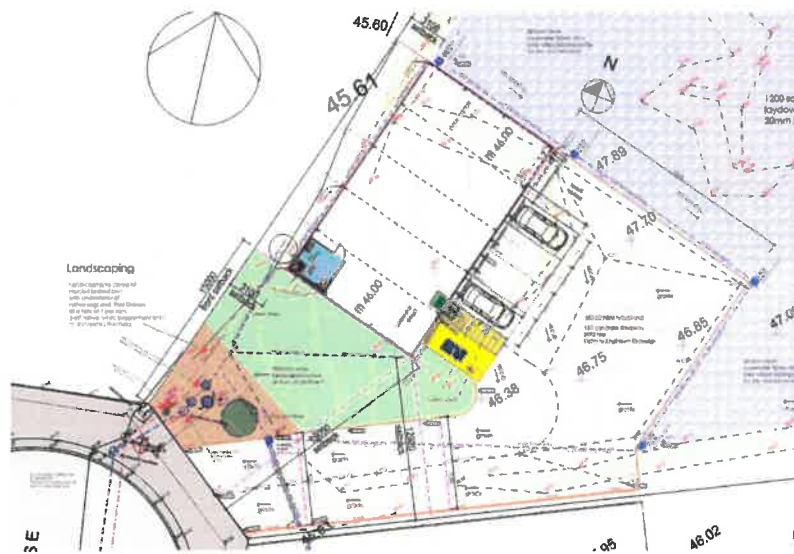


Figure 2: Proposed Development

MUSIC Inputs

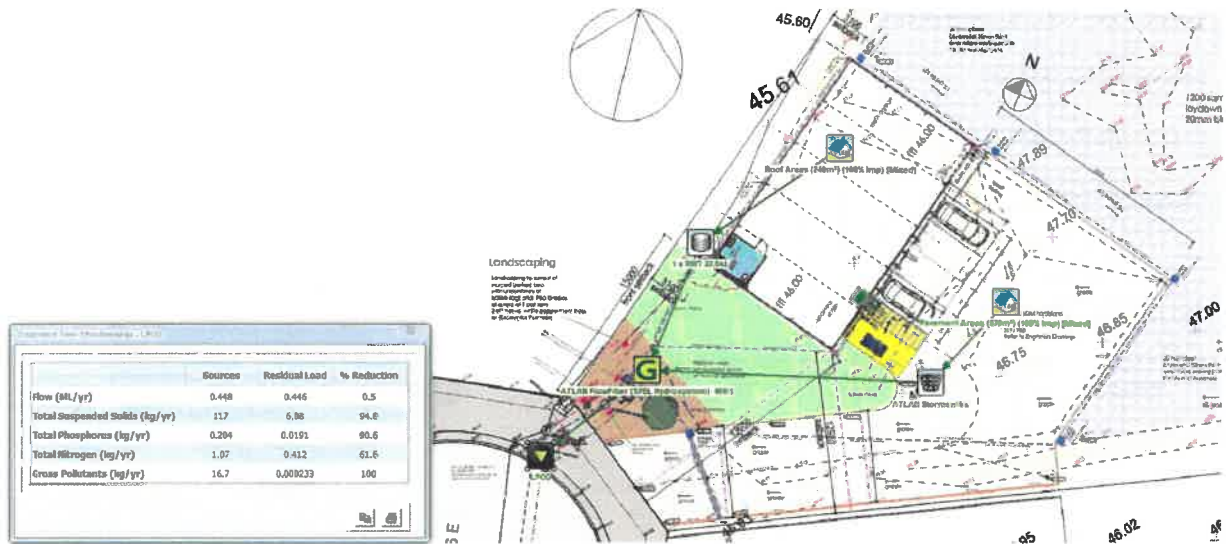


Figure 3: MUSIC Model Configuration

Catchment Details

Catchment	Size (m ²)	Imperviousness (%)
Roof Areas	240	100
Pavement Areas	570	100

Treatment Details

ATLAN Stormsack

System Type: GPT (Gross Pollutant Trap)

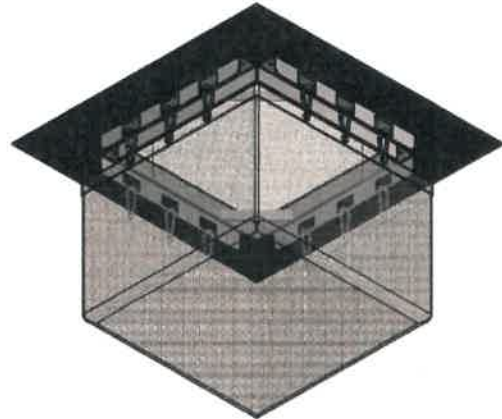
Treatment Type: Primary

Model: SSS.6060.C1

Treatment Flow Rate: 55 L/s

Pollutant Removal Rates

Pollutant	TSS	TP	TN	GP
Input (mg/L)	1000	5	50	15
Output (mg/L)	390	3.6	27.5	0



ATLAN FlowFilter

System Type: Dynamic Separator and Filter

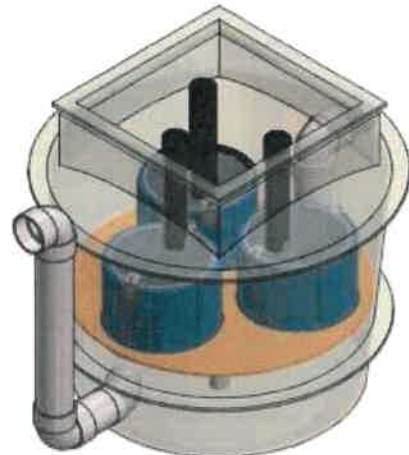
Treatment Type: Secondary and Tertiary

Model: HS.400/1

Treatment Flow Rate: 2.5L/s

Pollutant Removal Rates

Pollutant	TSS	TP	TN	GP
Input (mg/L)	1000	5	50	15.0
Output (mg/L)	100	0.5	28.0	0.0



MUSIC Results

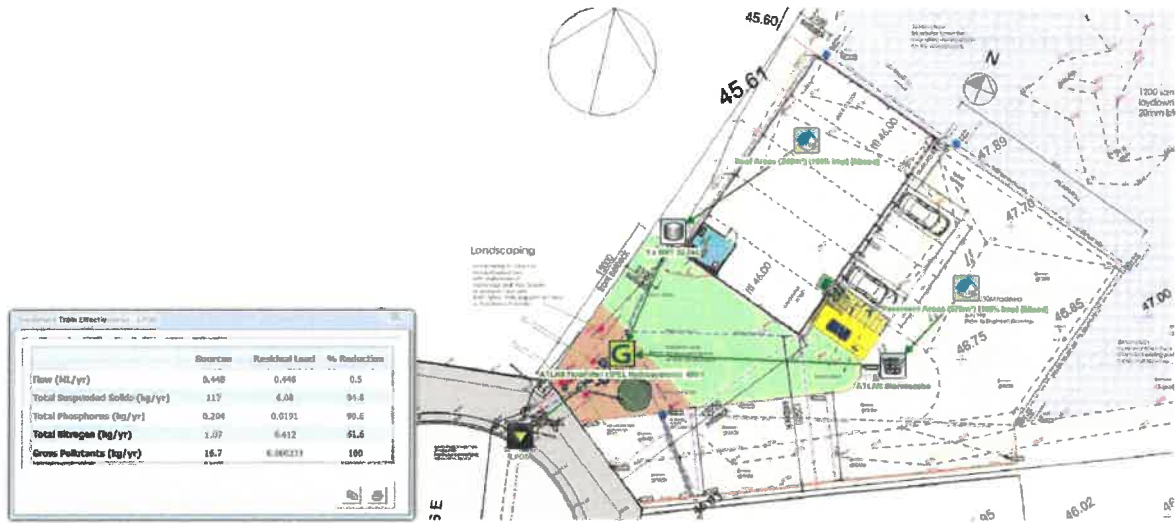


Figure 4: MUSIC Model Results

Pollutant	Sources (kg/yr)	Residual Load (kg/yr)	Reduction (%)	Reduction Target (%)
Flow (ML/yr)	0.448	0.446	0.5	0
Total Suspended Solids	117	6.08	94.8	80
Total Phosphorus	0.204	0.0191	90.6	45
Total Nitrogen	1.07	0.412	61.6	45
Gross Pollutants	16.7	0.000233	100	70

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This study, report and analysis have been based on the information available to SPEL Stormwater at the time of preparation. SPEL Stormwater accepts responsibility for the report and its conclusions to the extent that the information was sufficient at the time of preparation. SPEL Stormwater does not take responsibility for errors and emissions due to incorrect information or information not available to SPEL Stormwater at the time of preparation of the study, report or analysis.

Author: Lee Parker
Position: VIC/TAS Business Development Manager

Approved: Kurt Jensen
Position: VIC/TAS General Manager

03/05/2024
General Manager
Brighton Council
1 Tivoli Road, Old Beach 7017

Planning Department
Statutory planner

4 Bevel Place
BRIDGEWATER

Planning Department
Attention Kelly Min
Planning Officer

APPLICATION FOR PLANNING PERMIT NEW BUILDING FOR RETAIL SALES and Industrial Sales

19.20 Use Table

Equipment and Machinery Sales and Hire

use of land for displaying, selling, hiring or leasing plant, equipment or machinery, associated with, but not limited to, cargo-handling, construction, earth-moving, farming, industry and mining.

The Vacant site is located at 4 Bevel Place, Bridgewater.

It is proposed to construct an all-purpose building, 200.00 sqm in size and use this for a combined retail sales office for equipment and or industrial sales (hardware, fixings, nut and bolts bearings and small equipment). There is no proposal to service machinery on site.

In the area there are similar supply outlets, Nutrient and TASMAC

The building is serviced by a sealed concrete driveway and will have off street carparking to match the approved development adjacent at 2 bevel places.

19.30 Use standards

The Use under table 19.2 is listed as permitted

19.40 development standards for buildings

A1 Building heights must not be more than 20 metres

The proposal is for a building height of 5.610 metres

19.4.2 Setback of buildings

Buildings must have setback from a frontage of:

(a) not less than 10m.

(b) not less than existing buildings on the site; or

(c) not more or less than the maximum and minimum setbacks of the buildings on adjoining properties.

The proposed setback from the road boundary is 15.00 metres

19.4.3 Landscaping

Landscaping is proposed at a depth of 9.0 meters

SITE ACCESS

The site access is to be a full width driveway of 7300mm at the head of the cul-de-sac



SIGNAGE

There is proposed 2 signs intended for the front of the building, Size has been nominated

Final artwork to be approved by a separate application once a tenant and business lease has been accepted

SERVICE

There is no proposed change to water, sewer or stormwater connections. A stormwater treatment train has been provided for the site and a proprietary system is to be installed. The proposed stormwater site connection is sized accordingly and has capacity for the proposed development. The site has approval for 80% of site coverage in hardstand and the proposed development of 810.00 sqm (18.50%) is well under capacity and detention on site is not needed. 2% AEP will be achieved.

CARPARKING

The number of car spaces supplied with the application is in line with Table C2.1 Parking Space Requirements

FENCING

It is proposed to construct a Chainwire fence around the perimeter 1800mm high

Site Photo



Kind regards

Richard and Mark Le Souef

Marcus Ralph designer

Submission to Planning Authority Notice

Council Planning Permit No.	DA 2024 / 00102	Council notice date	5/06/2024
TasWater details			
TasWater Reference No.	TWDA 2024/00655-BTN	Date of response	11/06/2024
TasWater Contact	Phil Papps	Phone No.	0474 931 272
Response issued to			
Council name	BRIGHTON COUNCIL		
Contact details	development@brighton.tas.gov.au		
Development details			
Address	4 BEVEL CL, BRIDGEWATER	Property ID (PID)	9621636
Description of development	Warehouse for Retail Sales, Sale of Equipment & Products to the Public		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Marcus Ralph Design	Site & Floor Plans /928-04 & 07	A01	06/12/2024
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. The proposed development must be serviced by a suitably sized water supply with a metered connection and sewerage system and connection to TasWater's satisfaction and be in accordance with any other conditions in this permit.			
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.			
3. Prior to commencing use of the development, any water connection utilised for the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.			
DEVELOPER CHARGES			
4. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$351.40 to TasWater for sewerage infrastructure for 0.2 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.			
<i>Advice: ET loadings for water do not exceed the 1.0 ET available water credit and hence Developer Charges do not apply to the water demands.</i>			
DEVELOPMENT ASSESSMENT FEES			
5. The applicant or landowner as the case may be, must pay a development assessment fee of \$234.64 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.			

Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Developer Charges

For information on Developer Charges please visit the following webpage -

<https://www.taswater.com.au/building-and-development/developer-charges>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

