



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2024/122**

LOCATION OF AFFECTED AREA

**594 BASKERVILLE ROAD, OLD BEACH**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**EXTENSION TO EXISTING DWELLING**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **17/07/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**General Manager**



**Brighton**  
*going places*

## PROPERTY/ PROJECT DETAILS

CLIENT: CHRISTOPHER & ALANA MINEHAN  
SITE TITLE REFERENCE: 47181/11  
PROPERTY IDENTIFICATION NUMBER: 7693444  
ADDRESS: 594 BASKERVILLE ROAD, OLD BEACH TAS 7017  
LOCAL AUTHORITY: BRIGHTON  
PLANNING SCHEME: TASMANIAN PLANNING SCHEME- BRIGHTON  
OVERLAYS: ATTENUATION AREA (BASKERVILLE RACEWAY), NATURAL ASSETS CODE, BUSHFIRE PRONE AREA  
ZONE: RURAL LIVING A  
BUSHFIRE ATTACK LEVEL: TBA  
CORROSION ENVIRONMENT: LOW  
SOIL CLASSIFICATION: "A"  
WIND CLASSIFICATION: N3  
LOT SIZE: 1.628Ha  
DWELLING FOOTPRINT: 305m<sup>2</sup>  
SHED 1: 252m<sup>2</sup>  
SHED2: 107m<sup>2</sup>  
TOTAL AREA: 664m<sup>2</sup>

**PERFORMANCE CRITERIA:**  
**SITE COVERAGE- NOT MORE THAN 400m<sup>2</sup>**  
**THE WORKS CANNOT BE SEEN FROM BASKERVILLE ROAD, TREE PLANTINGS ARE TO BE INSTALLED AS SHOWN ON THE SITE PLAN TO LIMIT THE IMPACT TO NEIGHBOURS. NO VEGETATION TO BE REMOVED, NEAR BY PROPERTIES WITH DEVELOPMENT GREATER THAN 400m<sup>2</sup>**

**NEW AWTS TO BE INSTALLED TO SERVICE THE DWELLING**

Note:  
Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineers drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant BCA and AS codes. Important Notice for Attention of Owner: The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

**DIMENSION NOTE:**  
Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed on site by the Builder/Surveyor/or sub-contractor prior to the commencement of work, manufacture and installation. It is imperative that the Builder/sub-contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

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Accreditation No: cc371s  
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CLIENT NAME:  
**C & A MINEHAN**  
PROJECT ADDRESS:  
**594 BASKERVILLE ROAD, OLD BEACH TAS 7017**  
PROJECT:  
**ADDITION TO APPROVED DWELLING**

DRAWING TITLE:  
**COVER SHEET**

DATE: 12/06/2024  
SCALE: N/A  
REVISION No: R:0  
JOB No: 24-008  
SHEET No: C01.0

### DRAWING CONTENTS:

#### ARCHITECTURAL : PLANNING

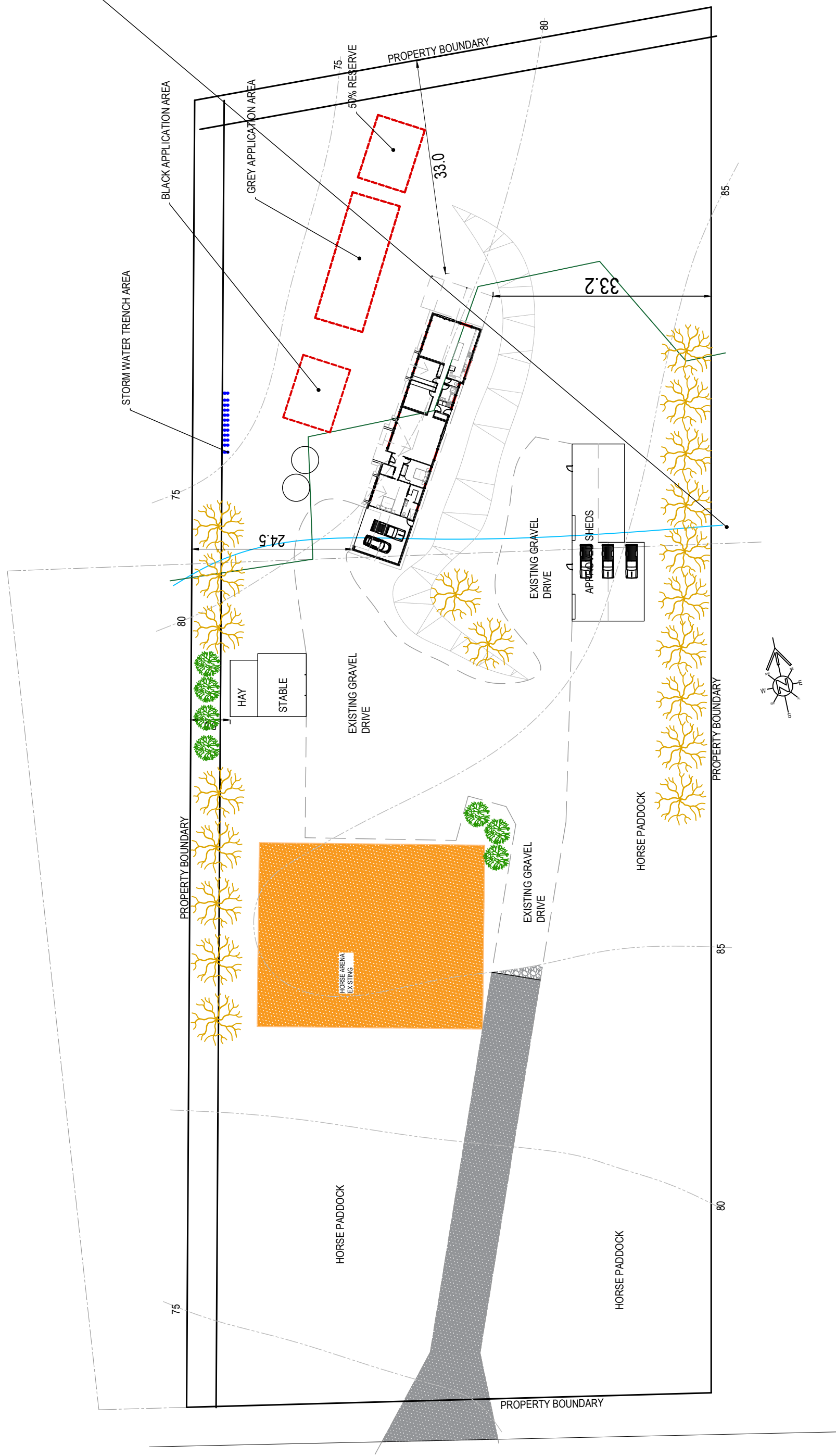
SHEET No	DRAWING TITLE
C01.0	COVER PAGE
C02.0	SITE PLAN
C03.0	APPROVED FLOOR PLAN
C03.1	PROPOSED FLOOR PLAN
C04.0	ELEVATIONS

#### Performance Criteria


##### P1

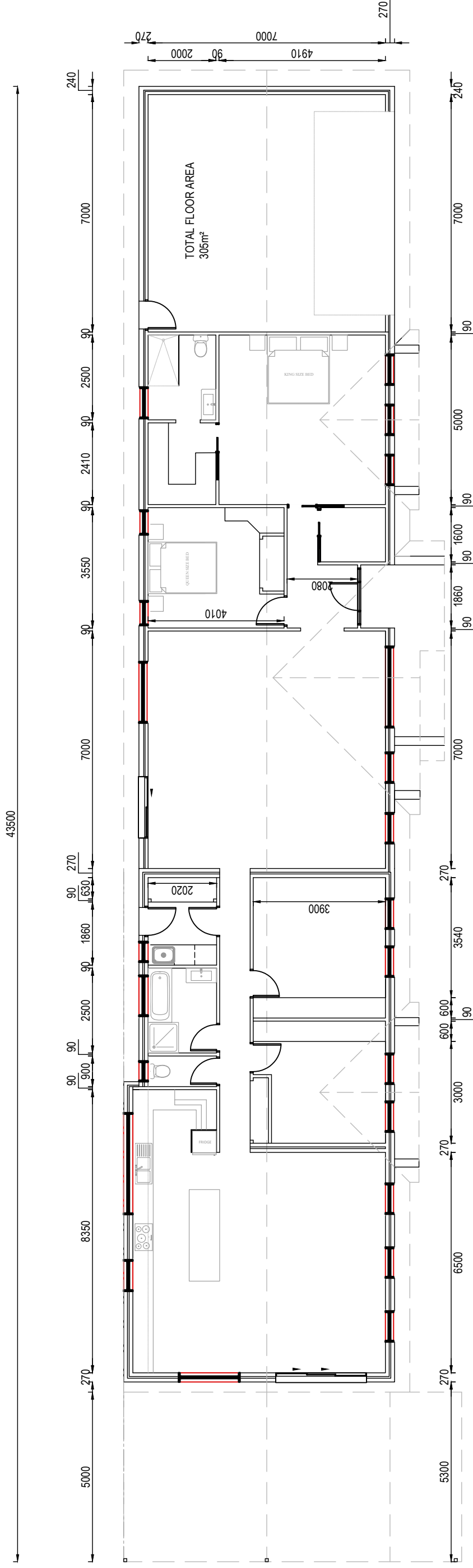
The site coverage must be consistent with that existing on established properties in the area, having regard to:

- the topography of the site;
- the capacity of the site to absorb runoff;
- the size and shape of the site;
- the existing buildings and any constraints imposed by existing development;
- the need to remove vegetation; and
- the character of development existing on established properties in the area.



BASKERVILLE ROAD

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			<p>PROJECT ADDRESS: <b>594 BASKERVILLE ROAD, OLD BEACH TAS 7017</b></p>	<p>DATE: <b>12/06/2024</b></p>
<p>PROJECT: <b>ADDITION TO APPROVED DWELLING</b></p>		<p>REVISION No: <b>R:0</b> SHEET No: <b>A3</b> JOB No: <b>24-008</b> SHEET No: <b>C02.0</b></p>		



# P

## PROPOSED FLOOR PLAN

Scale: 1:125

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 C & A MINEHAN

**PROJECT ADDRESS:**  
 594 BASKERVILLE ROAD, OLD BEACH TAS 7017

**PROJECT:**  
 ADDITION TO APPROVED DWELLING

**DRAWING TITLE:**  
 PROPOSED FLOOR PLAN

**DATE:**  
 12/06/2024

**REVISION No:**  
 R:0

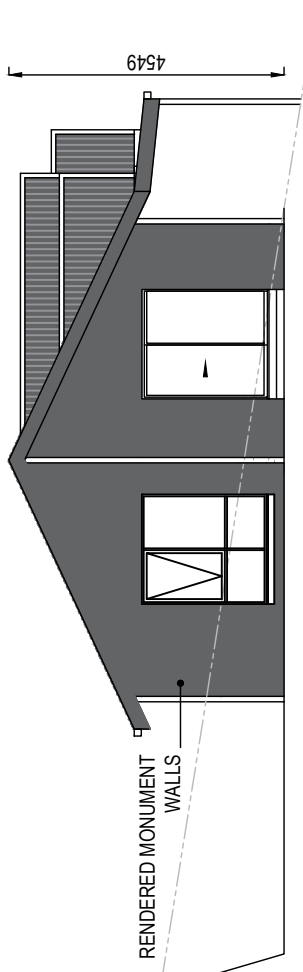
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 1:125

**SHEET SIZE:**  
 A3

**DRAWN BY:**  
 PK

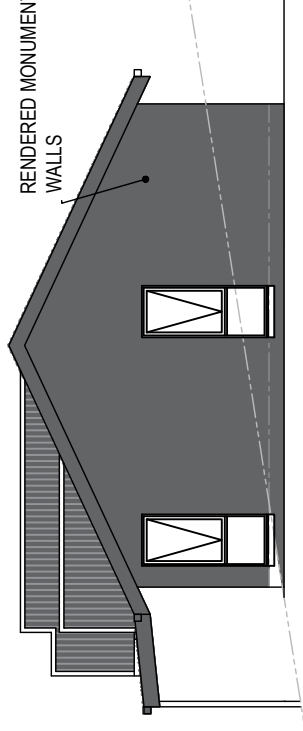
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 C03.1

**JOB No:**  
 24-008



## NORTHERN ELEVATION

Scale: 1:125

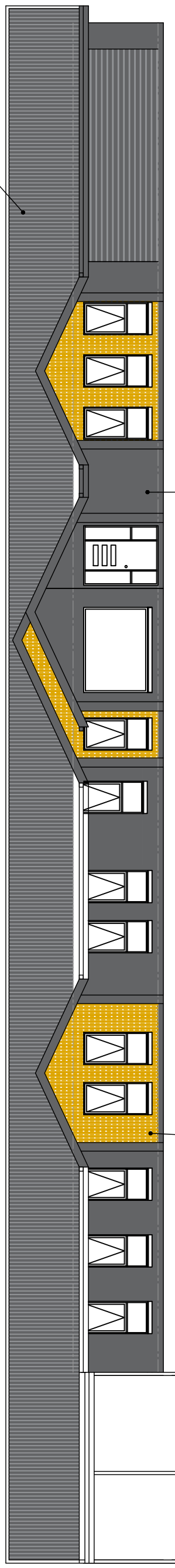


## SOUTHERN ELEVATION

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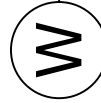


MONUMENT COLOR-BOND  
CORRAGATED ROOFING

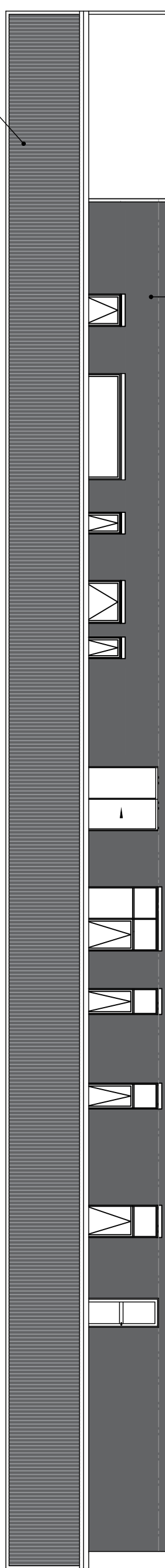


## WESTERN ELEVATION

Scale: 1:125



MONUMENT COLOR-BOND  
CORRAGATED ROOFING



## EASTERN ELEVATION

Scale: 1:125



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DRAWING TITLE:  
ELEVATIONS

CLIENT NAME: C & A MINEHAN	DATE: 12/06/2024	SCALE: 1:125	DRAWN BY: PK
PROJECT ADDRESS: 594 BASKERVILLE ROAD, OLD BEACH TAS 7017	REVISION No: R:0	SHEET SIZE: A3	JOB No: 24-008
PROJECT: ADDITION TO APPROVED DWELLING			SHEET No: C04.0