



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/085

LOCATION OF AFFECTED AREA

61, 61A & 61B CROOKED BILLET DRIVE, BRIDGEWATER

DESCRIPTION OF DEVELOPMENT PROPOSAL

STORAGE (CONTAINERS)

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **12/08/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

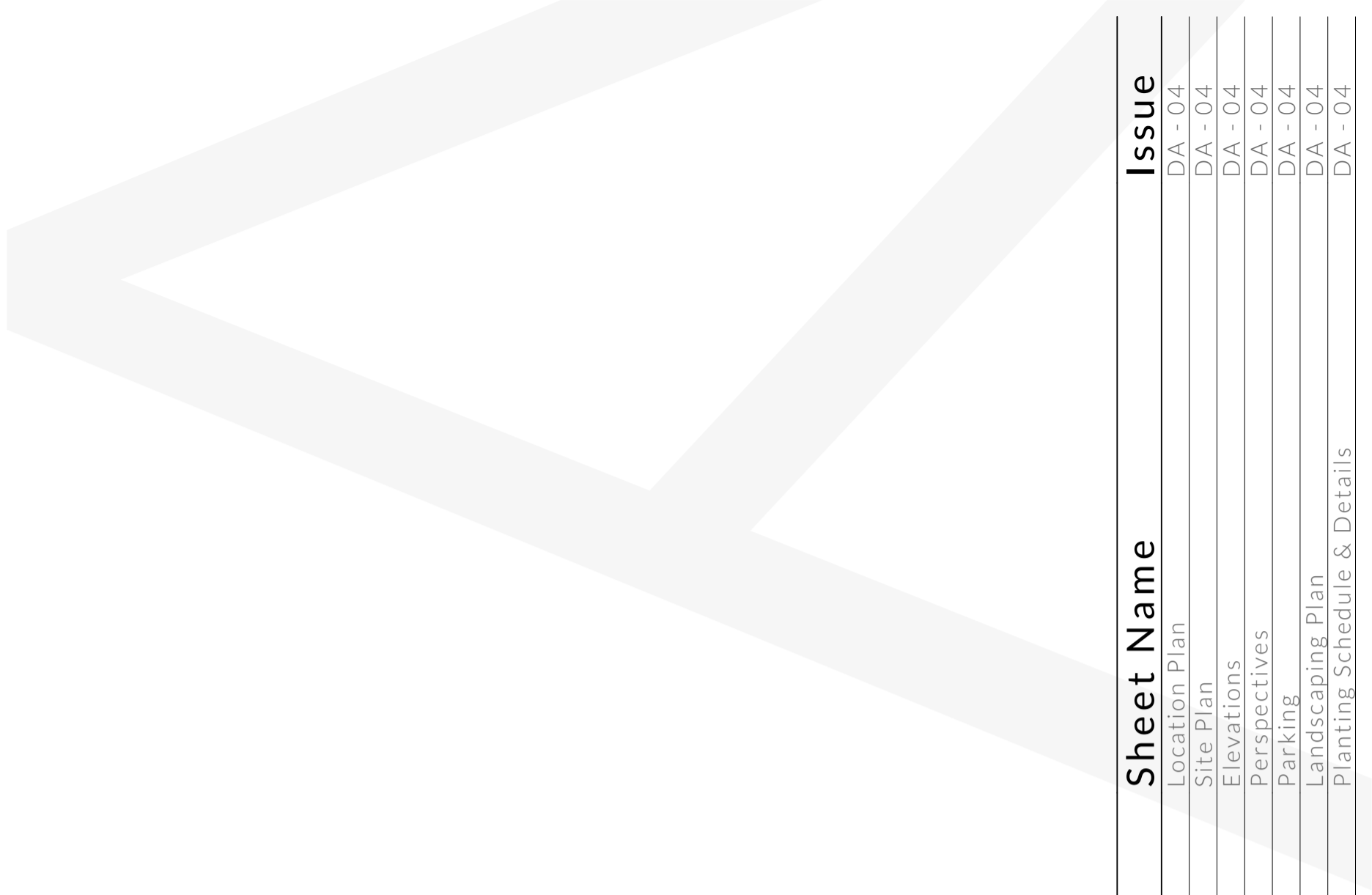
JAMES DRYBURGH
General Manager



Brighton
going places

P I N N A C L E

PINNACCLE



61/61a/61b Crooked Billet Drive, Bridgewater 7030

| | | | |
|---|--------------------------------------|-----------------------------|------------------------------|
| Owner(s) or Clients | Wayne & Zackary Silver | Title Reference | 178638/1, 178638/2, 178638/3 |
| Building Classification | N/A | Zoning | General Industrial |
| Construction Type | N/A | Land Size | 10449m ² |
| No. of Storeys | N/A | Design Wind Speed | TBA |
| Designer | Jason Nickerson CC6073Y | Soil Classification | TBA |
| Total Floor Area (Combined) | N/A Deck N/A | Climate Zone | 7 |
| Alpine Area | N/A | Corrosion Environment | Low |
| Other Hazards <small>(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)</small> | Specific Area Plan, Attenuation area | Bushfire Attack Level (BAL) | N/A |

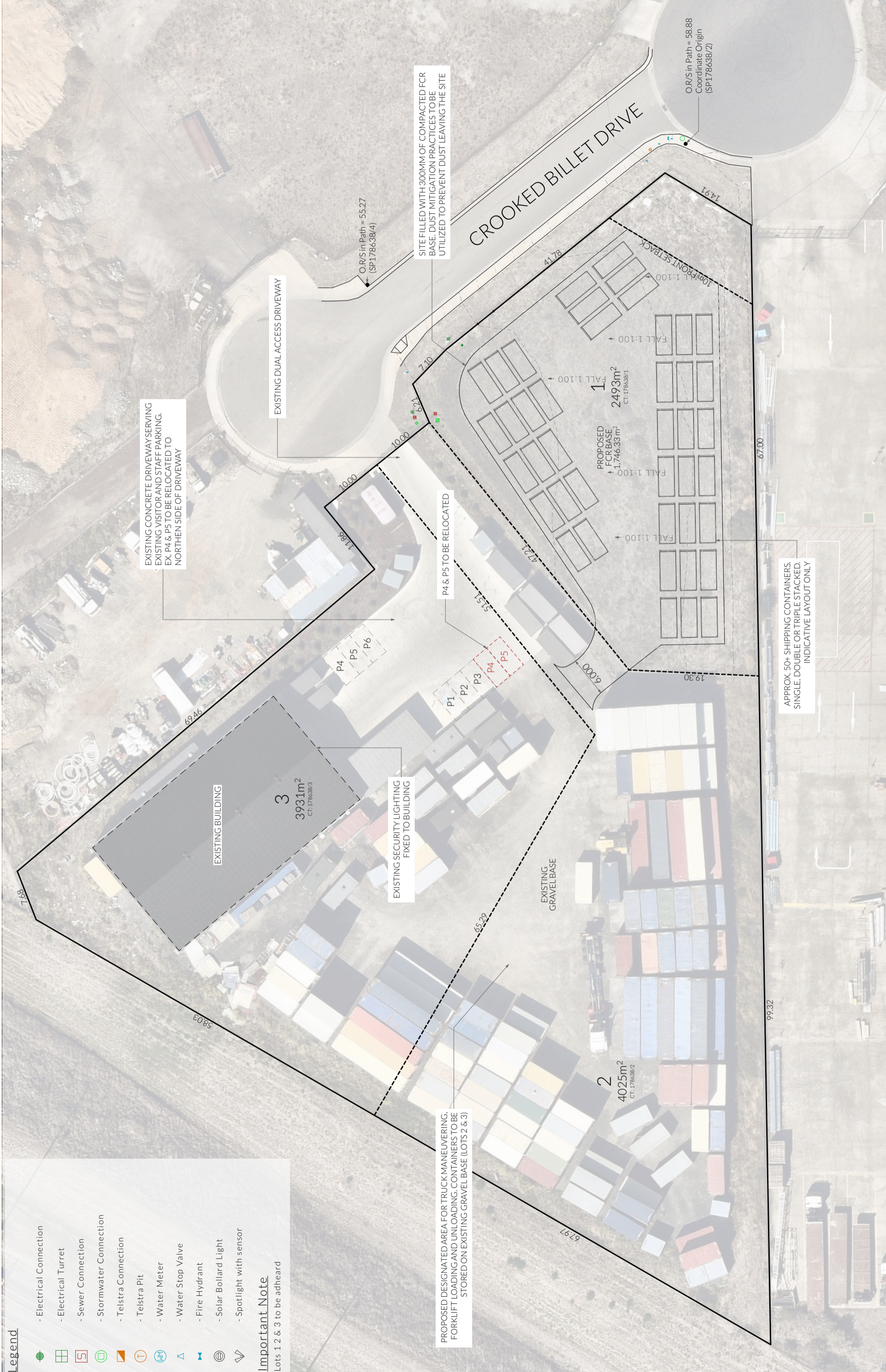
| ID | Sheet Name | Issue |
|------|-----------------------------|---------|
| A.01 | Location Plan | DA - 04 |
| A.02 | Site Plan | DA - 04 |
| A.03 | Elevations | DA - 04 |
| A.04 | Perspectives | DA - 04 |
| C.01 | Parking | DA - 04 |
| L.01 | Landscaping Plan | DA - 04 |
| L.02 | Planting Schedule & Details | DA - 04 |

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Important Note

Lots 1, 2 & 3 to be adheard



PROPOSED DESIGNATED AREA FOR TRUCK MANEUVERING, FORKLIFT LOADING AND UNLOADING. CONTAINERS TO BE STORED ON EXISTING GRAVEL BASE (LOTS 2 & 3)

P4 & P5 TO BE RELOCATED

EXISTING CONCRETE DRIVEWAY SERVING EXISTING VISITOR AND STAFF PARKING. EX. P4 & P5 TO BE RELOCATED TO NORTHERN SIDE OF DRIVEWAY

SITE FILLED WITH 300MM OF COMPACTED FCR BASE. DUST MITIGATION PRACTICES TO BE UTILIZED TO PREVENT DUST LEAVING THE SITE

APPROX. 50+ SHIPPING CONTAINERS, SINGLE, DOUBLE OR TRIPLE STACKED. INDICATIVE LAYOUT ONLY

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 7/3 Abernant Way, Cambridge 7170
 03 6248 4218
 admin@pinnacle drafting.com.au
 www.pinnacle drafting.com.au
 Licence: CC6073Y

Location Plan
 Revision: DA - 04
 Approved by: JN

Scale: 1:500 @ A3
 Pg. No: A.01

Proposal: Storage Yard
 Client: Wayne & Zackary Silver
 Address: 61/61a/61b Crooked Billet Drive, Bridgewater 7030

Date: 30/04/2024
 Drawn by: MM
 Job No: 008-2024
 Engineer: TBA
 Building Surveyor: TBA

Issue Date
 DA - 02 20.05.2024
 DA - 03 27.06.2024
 DA - 04 02.07.2024

Description
 Council RFI
 Council RFI
 Client changes

bdeo
 BUILDING DESIGNERS
 AUSTRALIAN ARCHITECTS

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Legend

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- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 Volume 1.

Surface water, resulting from a storm having an annual exceedance probability of 1%, must not enter the building.

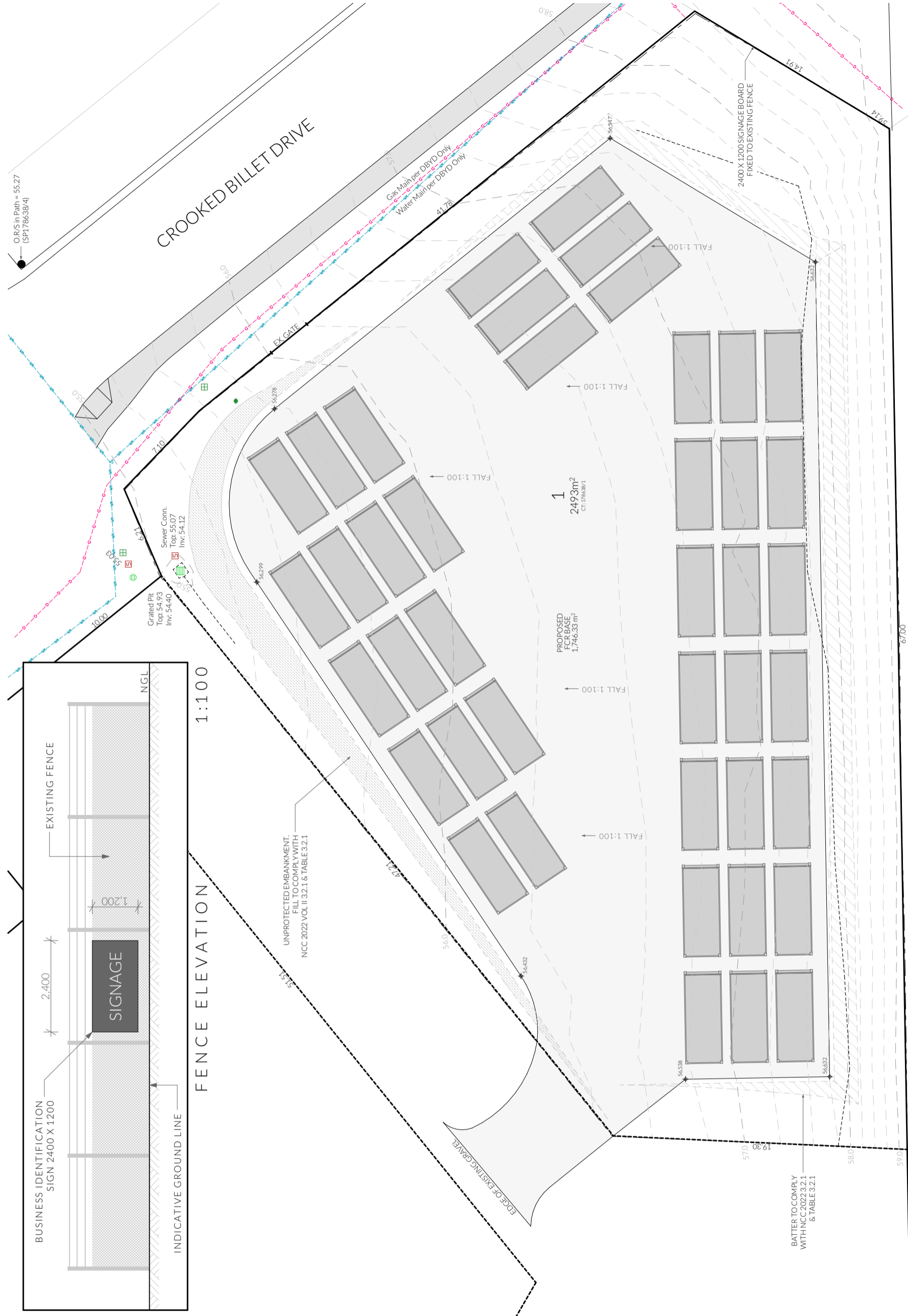
Limitations

F1P2 does not apply to-
 (a) Class 7 or 8 building where in the particular case there is no necessity for compliance; or
 (b) garage, tool shed, sanitary compartment, or the like, forming part of a building used for other purposes; or an open spectator stand or open-deck carpark.

Fire Safety

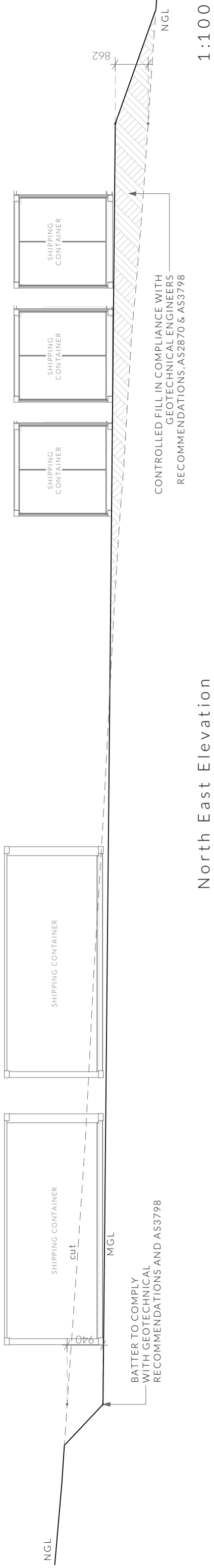
Where a building is more than 500m² or if internal fire hydrants are proposed/installed, a fire hose reel system must be provided in accordance with AS2441.

Fire hose reels must be installed within 4m of an exit or otherwise provided to provide full coverage to the building.



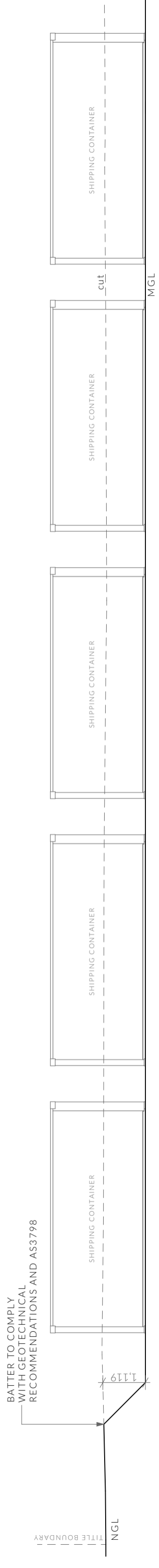
NOT FOR CONSTRUCTION

| | | | | | | | | | |
|--|--|---|---|---|--|--|---|--|--|
| <p>PINNACLE 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y</p> | <p>Site Plan</p> | <p>Revision: DA - 04 Approved by: JN</p> | <p>Scale: 1:250 @ A3 Pg. No: A.02</p> | <p>Proposal: Storage Yard Client: Wayne & Zackary Silver Address: 61/61a/61b Crooked Billet Drive, Bridgewater 7030</p> | <p>Date: 30/04/2024 Drawn by: MM Job No: 008-2024 Engineer: TBA Building Surveyor: TBA</p> | <p>Issue Date DA - 02 20.05.2024 DA - 03 27.06.2024 DA - 04 02.07.2024</p> | <p>Description Council RFI Council RFI Client changes</p> | <p>These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2024. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to on the drawings. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL CONTRACTORS ARE TO VERIFY DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS OR REQUESTING/PRODUCING SHOP DRAWINGS. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF Pinnacle Drafting & Design Pty Ltd AS SOON AS PRACTICABLE.</p> | <p>bdeo BUILDING DESIGNERS AND ENGINEERS</p> |
| | <p>PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y</p> | <p>Site Plan</p> | <p>Revision: DA - 04 Approved by: JN</p> | <p>Scale: 1:250 @ A3 Pg. No: A.02</p> | <p>Proposal: Storage Yard Client: Wayne & Zackary Silver Address: 61/61a/61b Crooked Billet Drive, Bridgewater 7030</p> | <p>Date: 30/04/2024 Drawn by: MM Job No: 008-2024 Engineer: TBA Building Surveyor: TBA</p> | <p>Issue Date DA - 02 20.05.2024 DA - 03 27.06.2024 DA - 04 02.07.2024</p> | <p>Description Council RFI Council RFI Client changes</p> | <p>These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2024. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to on the drawings. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL CONTRACTORS ARE TO VERIFY DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS OR REQUESTING/PRODUCING SHOP DRAWINGS. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF Pinnacle Drafting & Design Pty Ltd AS SOON AS PRACTICABLE.</p> |



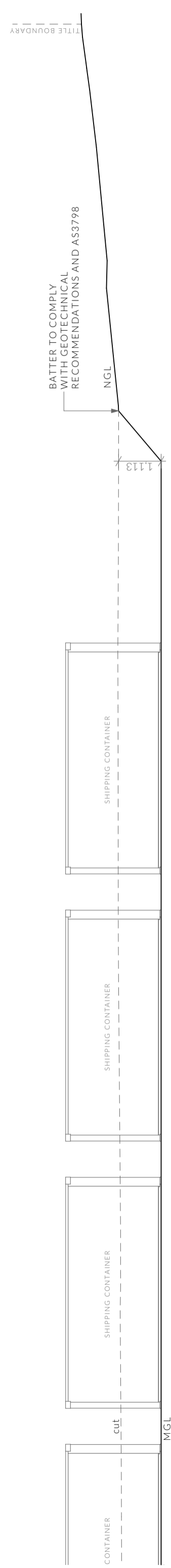
North East Elevation

1:100



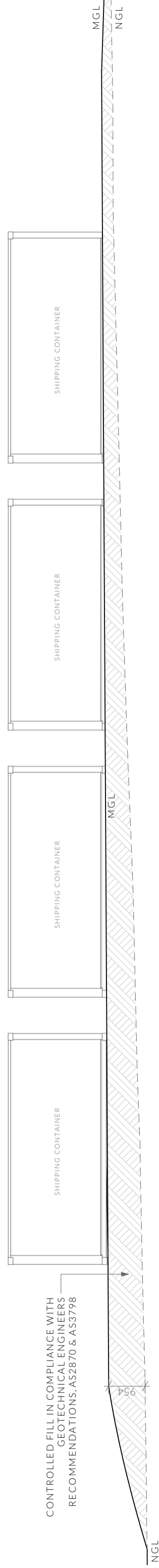
South Elevation

1:100



South Elevation

1:100



North West Elevation

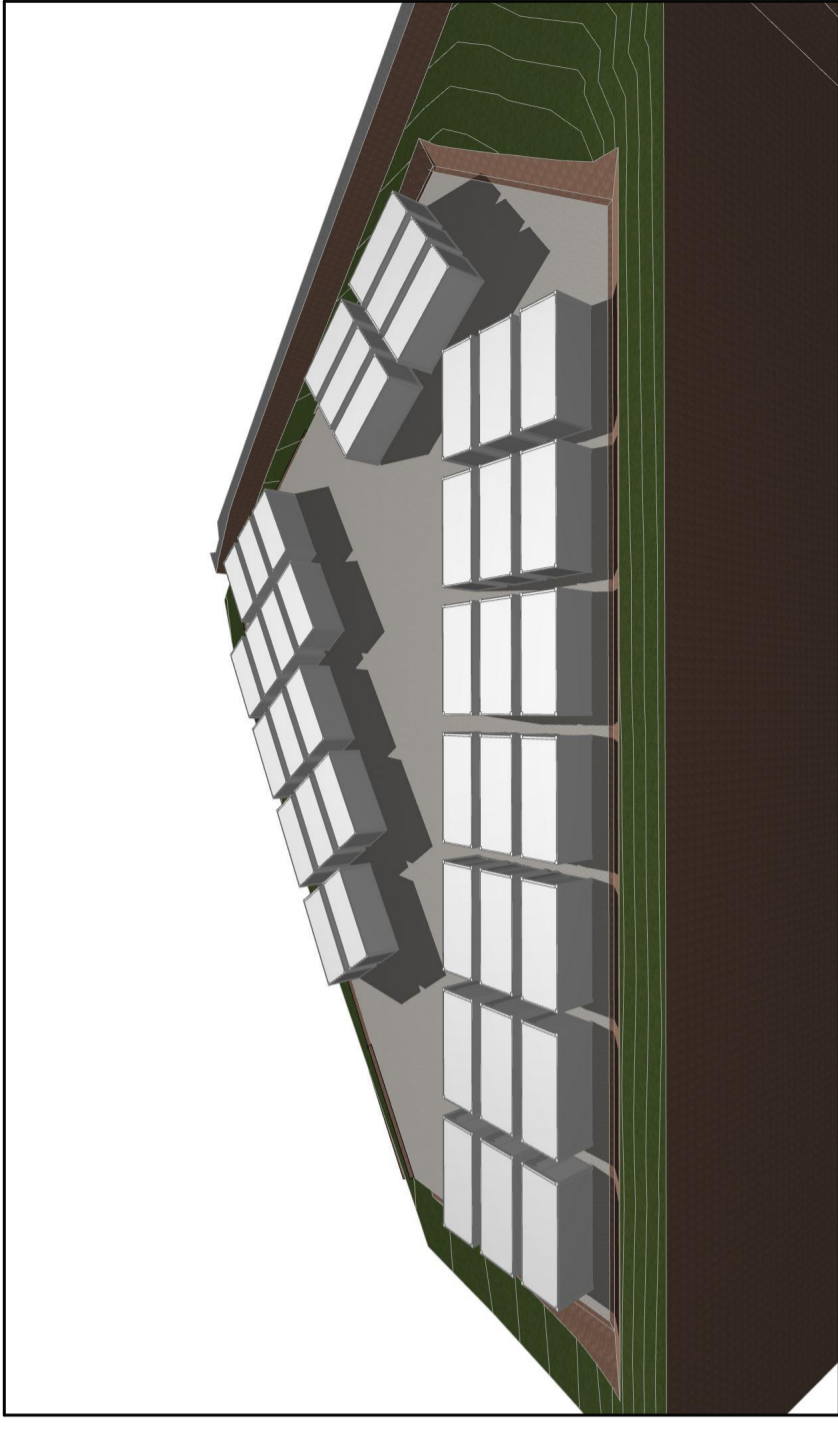
1:100

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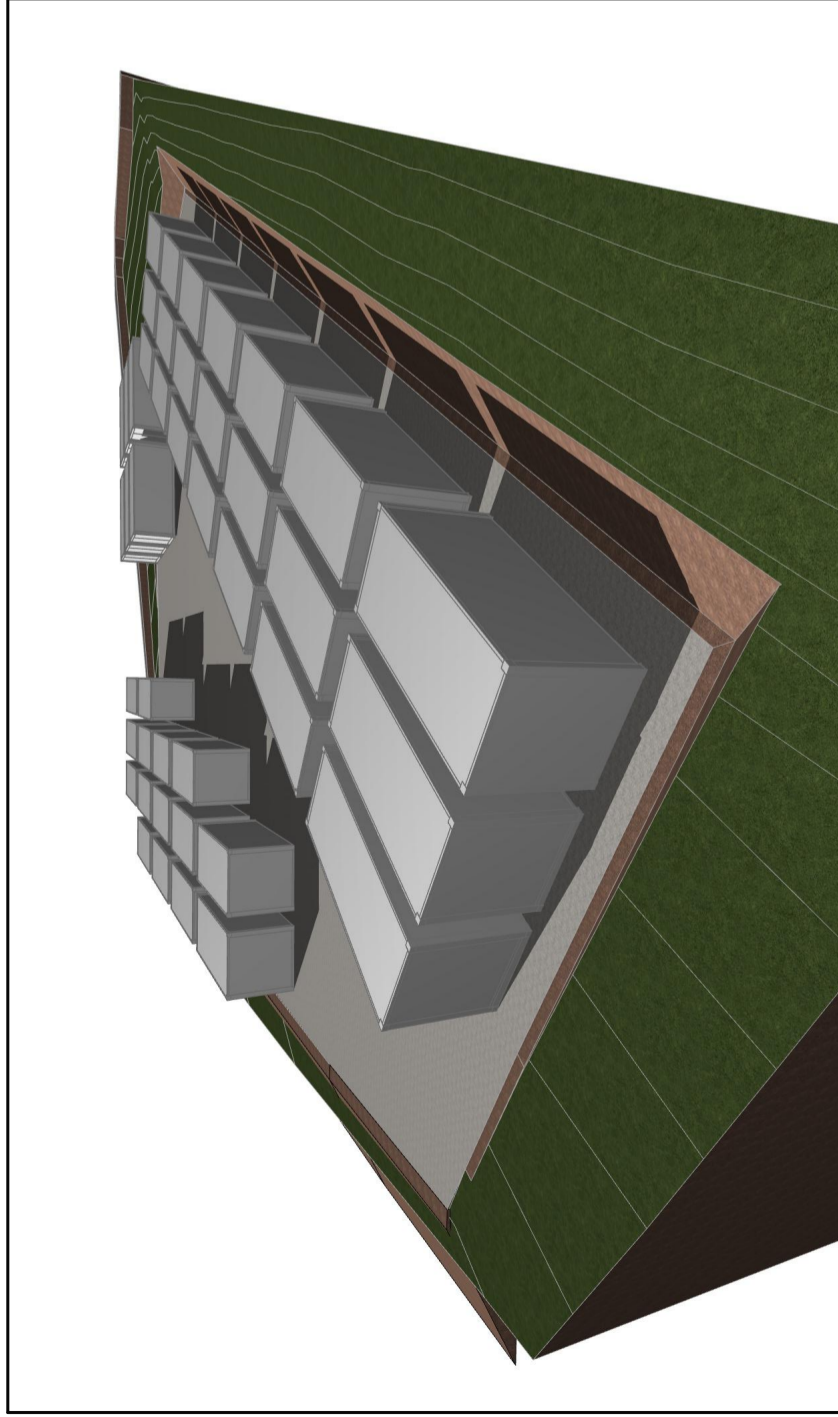
| | | | | | | | | | | | | | |
|---|---|--|-----------------------------------|--|--|--|---|--|--|--|---|--|--|
| PINNACLE PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y | Elevations Revision: DA - 04 Approved by: JN | | Scale: 1:100 @ A3 Pg. No: A.03 | | Proposal: Storage Yard Client: Wayne & Zackary Silver Address: 61/61a/61b Crooked Billet Drive, Bridgewater 7030 | | Date: 30/04/2024 Drawn by: MM Job No: 008-2024 Engineer: TBA Building Surveyor: TBA | | Issue Date DA - 02 20.05.2024 DA - 03 27.06.2024 DA - 04 02.07.2024 | | Description Council RFI Council RFI Client changes | | |
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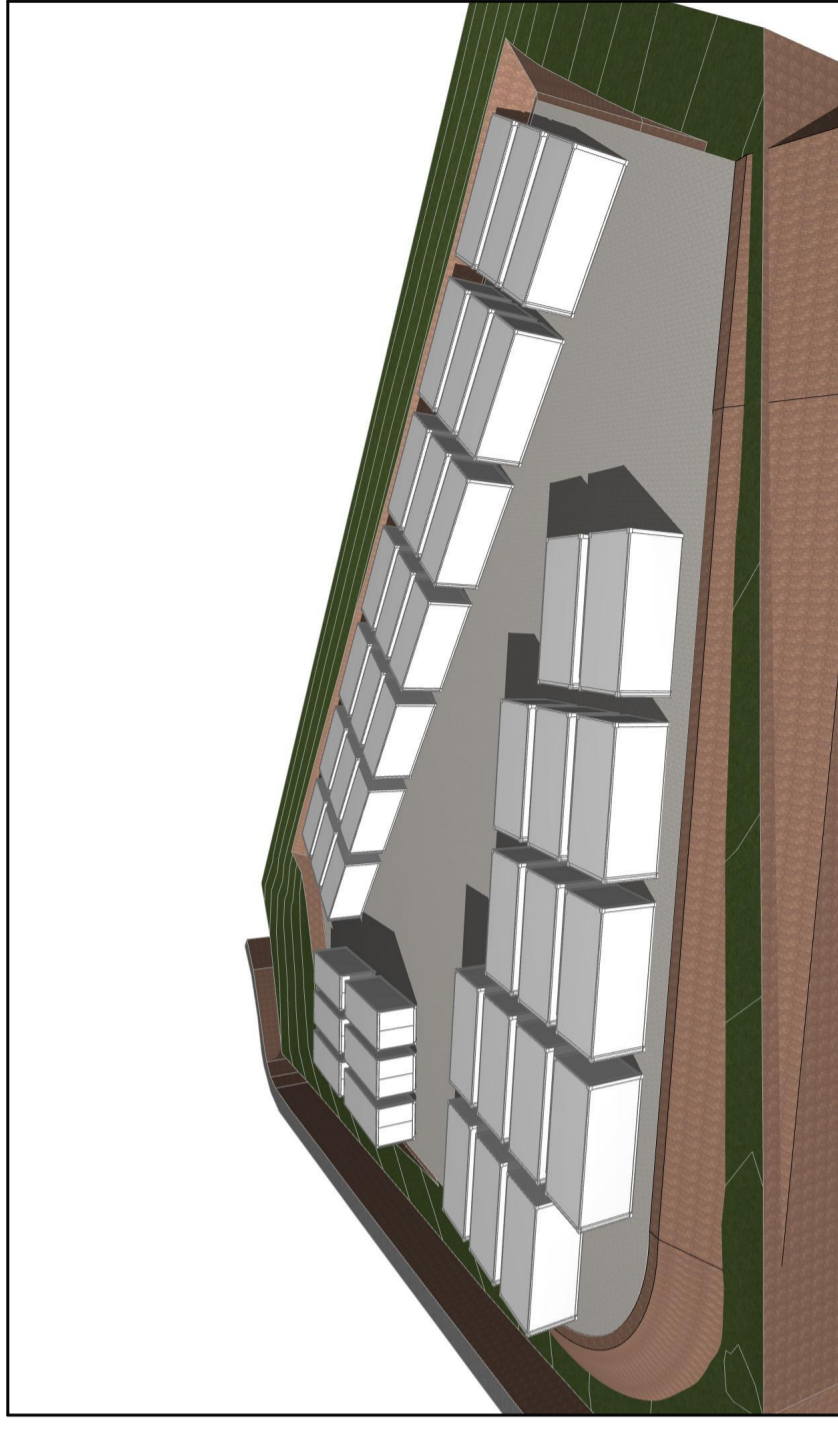
Perspective 01



Perspective 02



Perspective 03



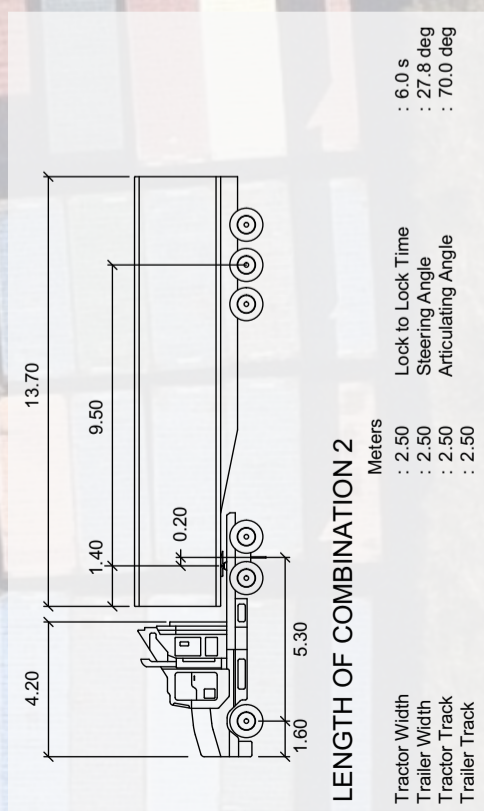
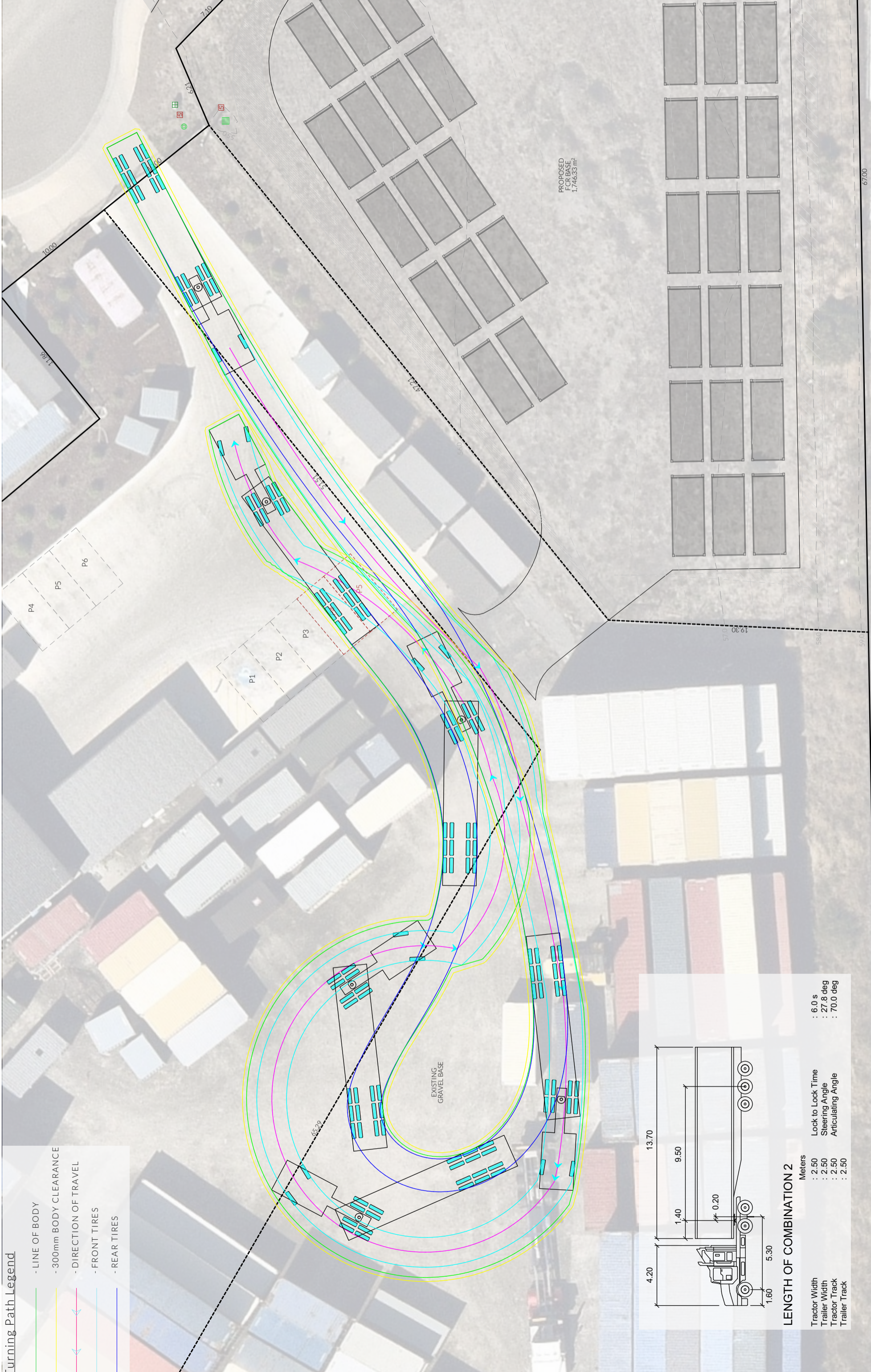
Perspective 04

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|---|---|--|-----------------------------|---|---|--|---|--|--|
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Turning Path Legend

- LINE OF BODY
- 300mm BODY CLEARANCE
- DIRECTION OF TRAVEL
- FRONT TIRES
- REAR TIRES



LENGTH OF COMBINATION 2

| Meters | |
|--------------------|------------|
| Tractor Width | : 1.60 |
| Trailer Width | : 1.40 |
| Tractor Track | : 5.30 |
| Trailer Track | : 9.50 |
| Lock to Lock Time | : 6.0 s |
| Steering Angle | : 27.8 deg |
| Articulating Angle | : 70.0 deg |

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Parking

Revision: DA - 04 JN
 Approved by: JN

Proposal: Storage Yard
 Client: Wayne & Zackary Silver
 Address: 61/61a/61b Crooked Billet Drive,
 Bridgewater 7030

Date: 30/04/2024
 Drawn by: MM
 Job No: 008-2024
 Engineer: TBA
 Building Surveyor: TBA

Scale: @ A3
 1:250
 Pg. No: C.01

Issue Date
 DA - 02 20.05.2024
 DA - 03 27.06.2024
 DA - 04 02.07.2024

Description
 Council RFI
 Council RFI
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99/32

Legend

- Driveway

- Mulched Garden Bed

Note

Refer to Planting Schedule & Details page for plant information.



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Landscaping Plan
 Revision: DA - 04
 Approved by: JN

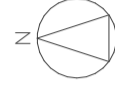
Scale: @ A3
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 Pg. No: L.01

Proposal: Storage Yard
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 Bridgewater 7030

Date: 30/04/2024
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Planting Schedule

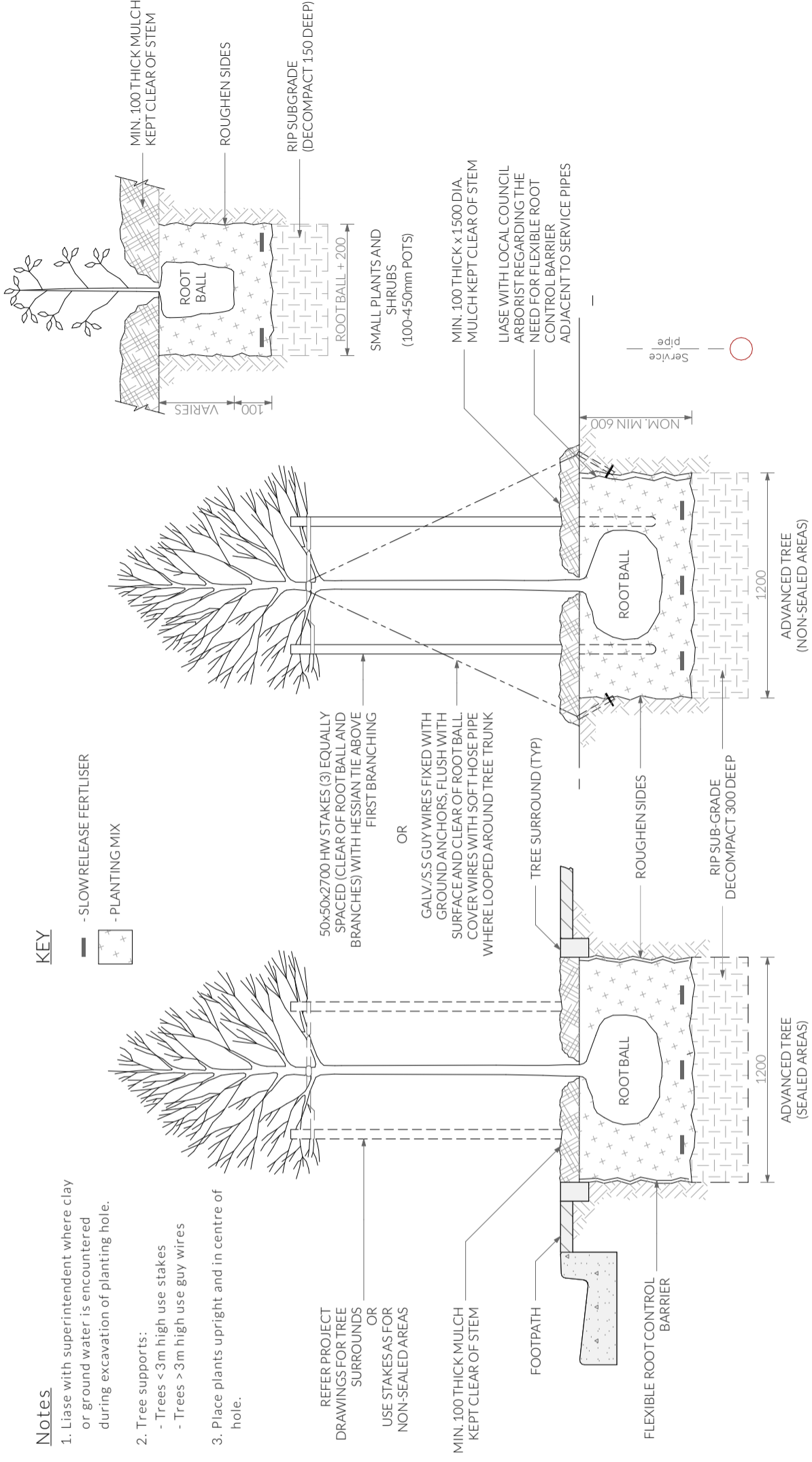
| Symbol | Element ID | Qty | Pot Size |
|--------|----------------|-----|-----------|
| | Acer sp. | 5 | 200mm |
| | Betula pendula | 3 | 200mm |
| | Lomandra sp. | 25 | tubestock |

Notes

1. Liase with superintendent where clay or ground water is encountered during excavation of planting hole.
2. Tree supports:
 - Trees < 3m high use stakes
 - Trees > 3m high use guy wires
3. Place plants upright and in centre of hole.

KEY

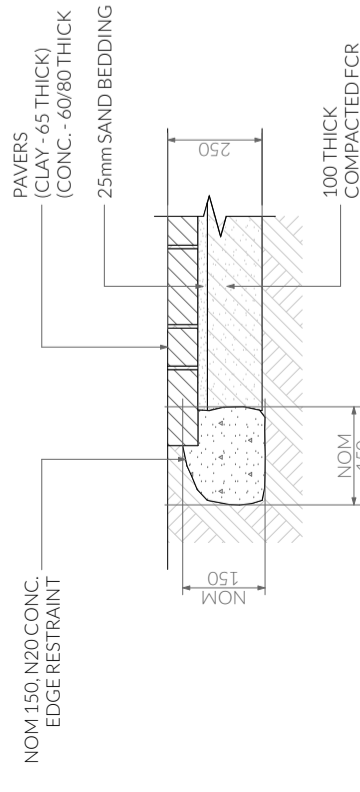
- SLOW RELEASE FERTILISER
- PLANTING MIX



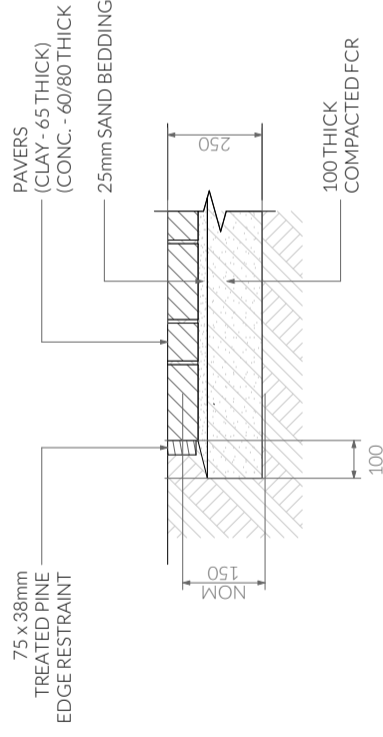
Note

Plants have been selected to be drought tolerant and low maintenance once established, it is recommended that a dripper system or similar be put into place until established. Plant locations are indicative and may be altered where suitable growing conditions cannot be met. Garden areas to be mulched with 75mm cover of selected mulch and plants are to be fertilised 6 monthly or where required until established. Garden edges are to be timber, steel, or brick. Plantings that are unsuccessful will be replaced where required.

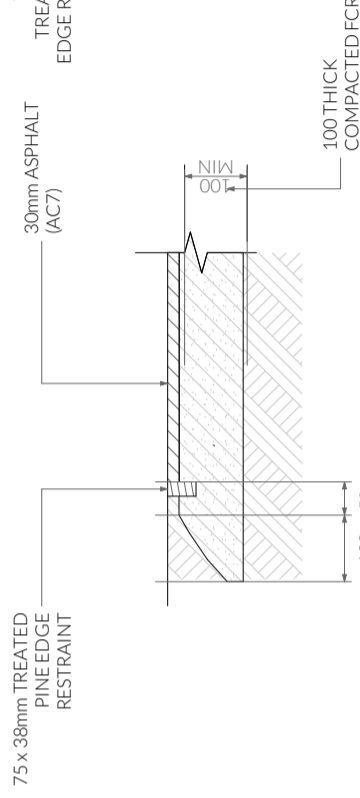
Tree and Shrub Planting



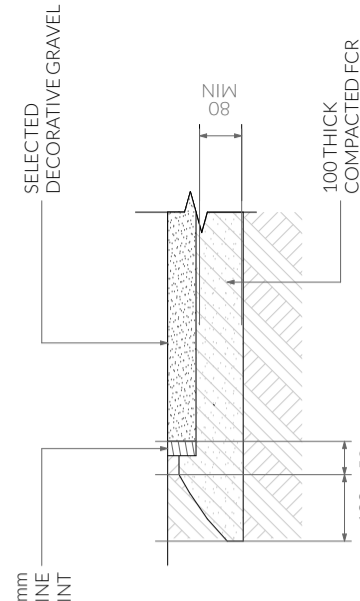
SEGMENTED PAVERS DETAIL



PAVERS DETAIL



ASPHALT DETAIL



GRAVEL DETAIL

NOT PAVEMENT CONSTRUCTION 1:20

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Planting Schedule & Details
 Scale: @A3
 Pg. No: L02
 Revision: DA - 04
 Approved by: JN

Proposal: Storage Yard
 Client: Wayne & Zackary Silver
 Address: 61/61a/61b Crooked Billet Drive, Bridgewater 7030

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bdca
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA



Tassie Containers Pty Ltd

Phone: 0439 334 111

Email: wayne@tassiecontainers.com.au

Address: 61b Crooked Billet Drive Bridgewater 7030

Mail: PO Box 96 Brighton Tas 7030

ABN: 45 612 050 030

To Brighton City Council

Intended Use For 61,61a & 61B Crooked Billet Drive Bridgewater 7030.

Combine all 3 blocks onto one title.

Current 61 Crooked Billet Drive to be used as empty shipping container storage only.

FCR or similar compacted surface.

Landscaping as per plans submitted to council.

Modified containers behind landscaping for street appeal.

Driveway to current access to Tassie Containers warehouse and office to be kept clear for two way traffic in and out of the driveway keeping clear access at all times.

Access to current 61 Crooked Billet Drive to be accessed via main container yard.

No requirement for street access to 61 Crooked Billet Drive.

No Parking required on 61 Crooked Billet Drive all staff and customer parking via current site at 61B.

61A to be kept as is for empty shipping container storage on current FCR compacted surface.

Best Regards,

A handwritten signature in black ink, appearing to read "Wayne Silver".

Wayne Silver

Director

25/06/24

Dear Sir/Madam,

DA 2024 / 00085
61 Crooked Billet Dr, Bridgewater

In response to your correspondence dated 30 May 2024
I have addressed your requests as follows:

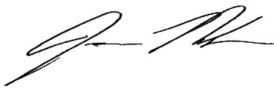
| ITEM | COUNCIL REQUEST | DEVELOPMENT RESPONSE |
|------|--|--|
| 1 | <i>Please submit an amended fully dimensioned and contoured site plan or plans showing all incorporated requests to satisfy the requirements of 6.1.2 and 6.1.3 of the Tasmanian Planning Scheme.</i> | Please refer to the revised plans. The application now includes lots 1 2 & 3 to be adhered. |
| 2 | <i>Provide an amended proposal clearly showing the vehicle spaces for meeting the acceptable solutions of C2.5.1 car parking numbers of the code or alternatively a written statement clearly addressing the performance criteria P1.1 parts (a) to (h) in full.</i> | <p>The proposal now includes six dedicated parking spaces. Spaces 4 and 5 will be relocated to the northern side of the driveway. Due to the nature of the operations, on-site customer visits are infrequent, making the proposed parking arrangement suitable for Tassie Containers. In the event where overflow parking is required, there is ample safe on-street parking available along the straight sections of Crooked Billet Drive.</p> <p>Public transport in the area is limited, so employees and visitors primarily commute by car. There are no site constraints affecting the number of on-site parking spaces in the proposal. Given the information above, the proposed six parking spaces are adequate for the scale and nature of Tassie Containers' operations, with sufficient on-street parking available if needed.</p> |

PINNACLE

- | | | |
|---|---|---|
| 3 | <i>Provide an amended proposal plan clearly showing the surface finish of all parking, access ways, manoeuvring and circulation spaces for meeting the acceptable solutions of C2.6.1 construction of parking areas or alternatively provide a written statement clearly addressing the performance criteria P1 parts (a) to (f) in full.</i> | <p>Please refer to the revised plans. All parking and associated manoeuvring is via the existing concrete parking area.</p> <p>Truck turning can be completed behind the concrete parking area allowing trucks to enter and leave in a forward direction.</p> |
| 4 | <i>Provide an amended proposal plan with sufficient dimensions and where required turning paths for meeting the acceptable solutions of C2.6.2 design and layout of parking areas or alternatively provide a written statement clearly addressing the performance criteria P1 parts (i) to (vii) in full.</i> | <p>Please refer to the revised plans for details on parking and turning</p> |
| 5 | <i>Please note that further assessment against Clause C2.6.5 for pedestrian access may be undertaken once a sufficient level of information is received for Item (b) above.</i> | <p>All access is provided by previously approved plans for lot 3. The proposal has less than 10 parking spaces, therefore a dedicated pedestrian access is not required.</p> |

I trust the provided information addresses the matters identified in the further information request and ask that the council now accept the submitted documentation as a valid application under LUPA.

Kind Regards,



Jason Nickerson
Director