



**Brighton
Council**

ATTACHMENTS

PLANNING AUTHORITY

2 JULY 2024



Jo Blackwell

From: Frazer Read <Frazer@allurbanplanning.com.au>
Sent: Tuesday, 18 June 2024 5:15 PM
To: Jo Blackwell
Cc: Olivia Halton
Subject: FW: 24B and 38 Jetty Road, Old Beach - DA 2024/61
Attachments: Summary of Issue Raised for Applicant.pdf; Response to community raised concerns.pdf

Caution: This is an external email and may be **malicious**. Please take care when clicking links or opening attachments.

Hi Jo,
Thank you for the opportunity to respond to the concerns raised by the representors:

Traffic

I defer to Pete Hubble's response attached

Property Values

The impact on property values is not relevant to an assessment of this proposal under the planning scheme.

Type of Tenancy

The site is zoned General Residential. Multiple Dwellings are a permitted use in the zone meaning that they are an acceptable use in all circumstances. The planning scheme does not discriminate between the type of tenancy. These concerns are not relevant to Council's assessment of the proposal under the planning scheme.

Public facilities

Council's planning scheme has zoned the site General Residential meaning that the site is an appropriate location for multiple dwelling use and development at the density proposed. The provision of public open space is only relevant to a proposal for subdivision. It is not relevant to a proposal for multiple dwelling development

Density

The proposal complies with the permitted density under Clause 8.4.1 of the planning scheme and furthers the zone purpose for efficient use of available social, transport and other service infrastructure (Clause 8.1.2). There is no discretion to refuse or condition the proposal on the basis of the number of dwellings.

Site Access

I defer to Peter Hubble's response attached.

Waste Collection

I defer to Peter Hubble in relation to traffic movements associate with waste collection. The proposal complies with Clause 8.4.8 Waste storage for multiple dwellings in that:

- The proposed dwellings either include an area of at least 1.5m² for exclusive bin storage use or access to a designated communal wheelie bin storage area (see Drawings 04 and 05); or
- The communal bin storage area for Units 20-21 and 52-53 is located within 5m of the side wall of Unit 22 and requires assessment under P1. In this case this storage area is considered to satisfy P1 in that it is located away from the Jetty Road frontage, has sufficient area for 2 bins for each dwelling (8) and is located and sufficiently separated to avoid odour and noise disturbance to nearby dwellings. This is particularly so given that the communal storage area is adjacent/below the garage area of Unit 22 and provides for only a small number dwellings (4 dwellings).

Noise and Light Pollution

There are no relevant use or development standards that control noise or light emissions from a residential use in this designated residential zone.

Fencing

Boundary fencing up to 2.1m is exempt from assessment under the planning scheme. Under the Boundary Fences Act 1908 the standard arrangement is for owners to share the cost of a standard rabbit proof fence 50/50.

Miscellaneous

The proposal is considered to satisfy the relevant provisions of the General Residential Zone and applicable Codes of the planning scheme and furthers the Zone Purpose for the efficient use of serviced residential land.

Privacy

The proposed dwellings including associated decks and windows and comply with the relevant standards for Privacy for all dwellings (8.4.6)

The buildings including minor protrusions along the southern boundary comply with the permitted building envelope under Clause 8.4.2



Overshadowing

The proposal is considered to satisfy the height and siting standards under the planning scheme. However, as a further measure, the proponent would be happy to accept a condition on the permit that required submission of amended plans for Units 23 and 24 prior to issue of a Building Permit demonstrating that they do not exceed a maximum height of 8.5m above existing Ground Level. Subject to this modification the proposal would comply with the permitted (deemed to comply) height and siting standards under the planning scheme. Any overshadowing impact from the proposal is therefore deemed acceptable under the planning scheme.

Servicing Infrastructure

The site is zoned General Residential and is accompanied by concept servicing documentation prepared by experienced engineers, Aldanmark. The application has been referred to TasWater as part of the assessment of the application.

Construction

Matters of construction management are not relevant to the assessment of this proposal under the planning scheme.

Vehicle Access to adjoining property

The application has been prepared having regard to legal rights of way over the site.

Local Character

The proposal complies with the relevant planning scheme provisions.

Landscaping

The proposal includes a concept landscaping plan and complies with the relevant site cover, private open space and landscaping requirements of the planning scheme under Clause 8.4.3 A1 and A2.

Visual Impact

The site is not located within a scenic protection area under the planning scheme.

The proposal complies with the permitted building envelope other than a small exceedance for two units in the centre of the site. These units will not be appreciable from neighbouring properties and will therefore not result in an unreasonable visual impact by way of apparent scale, bulk or proportions of the dwelling when viewed from adjoining properties. The proposal therefore complies with all relevant planning scheme standards relating to visual impact under Clause 8.4.2 P3. Notwithstanding this compliance, the proponent would be happy to accept a condition requiring the reduction in height of Units 23 and 24 to comply with the permitted height of 8.5m

I trust the above responses are useful.

I would be pleased to discuss further or clarify any responses as necessary

Regards

Frazer Read
Principal

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AllUrbanPlanning



From: Jo Blackwell <Jo.Blackwell@brighton.tas.gov.au>
Sent: Friday, June 14, 2024 2:57 PM
To: Olivia Halton <admin@sjmpd.com.au>; Frazer Read <Frazer@allurbanplanning.com.au>
Subject: 24B and 38 Jetty Road, Old Beach - DA 2024/61

Hi Olivia and Frazer

As foreshadowed earlier this week, I attach a summary of the issues raised in the 14 representations received during public exhibition. The issues raised are shared by most representors, so I have consolidated topics for ease of reference. They mostly refer to traffic issues, density, loss of privacy and overshadowing for the units adjoining the southern side boundary (with requests for single storey dwellings to be considered), and local character.

There are a couple of matters raised re: process which I haven't included (ie the 2nd mail out due to the public holiday), but will be included in final report.

It would be great if you could provide a response to any of the issues raised by mid next week, so that I may incorporate any comments/changes in my report. Of course, Leigh and I will work through our responses also.

Please do not hesitate to contact me to discuss.

JO BLACKWELL
SENIOR PLANNER

PLEASE NOTE THAT I DON'T WORK THURSDAYS



Brighton
going places



Click here to view the
2050
VISION

1 Tivoli Road, Old Beach TAS 7017
Tel: (03) 6268 7028
www.brighton.tas.gov.au

We acknowledge the traditional owners who once walked this country, the Mumirimina people, the original custodians of the skies, land and water of kutalayna (Jordan River). We forward our respect to the palawa/pakana (Tasmanian Aboriginal) community as the traditional and original owners of lutruwita (Tasmania).

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This disclaimer has been automatically added.

38 Jetty Road – Hubble Traffic

Raised concern	Hubble Traffic response
<p>Traffic flow issues arise from growing developments across the municipality and Bridgewater Bridge</p>	<p>The traffic flows along the highway are currently being influence by the new Bridgewater Bridge, these will normalise when the works are completed.</p> <p>The road owner (Department of State Growth) has recently completed a planning study of the highway to determine when, and where future infrastructure works are required to maintain efficient traffic flows.</p> <p>The units are predicted to generate an additional 35 vehicular trips on the surrounding road network, which is considered low, representing less than a three percent increase based on the current highway peak hour two-way traffic flow.</p> <p>All arterial commuter routes within greater Hobart are busy in the morning and evening peak hour periods, as travellers tend to travel at similar times, outside of these peak hour periods traffic flows are lighter. Peak spreading is where travellers adjust the timing of their journeys as travel conditions worsen, this phenomenon occurs naturally, allowing for an increase in demand to be accommodated.</p>
<p>Issues with access from Jetty Road to East Derwent Highway (EDH)</p>	<p>SIDRA Intersection software is the industry standard traffic modelling software, the modelling indicates that the Jetty Road junctions will provide motorists with an appropriate level of service for a busy arterial route.</p>
<p>Speeding along Jetty Road</p>	<p>Assuming this is a current issue, it is not for the development to address. No evidence that traffic generated from the units will create a speeding issue.</p>
<p>Why is an outdated RTA Guide to Traffic Generating Developments (RTA Guide) updated 2013 used for a proposed development in out Hobart, where public transport services are not near the same level as existing in NSW</p>	<p>The RTA Guide is recognised as the industry standard, and suitable to be applied to the Tasmanian environment.</p>
<p>The report mentions a study conducted by Hubble Traffic in December 2022. This study is outdated as traffic on EDH has increased significantly since the construction of the Bridgewater Bridge (expected completion mid 2025) and beyond as driving habits change.</p>	<p>The Hubble Traffic December 2022 study is appropriate, as once the Bridgewater Bridge is completed, traffic flows will normalise.</p>
<p>There has been no reference to the issue of public transport. There is a lack of reasonable and reliable public transport in this area, compounded by Metro’s temporary service adjustments.</p>	<p>This assessment considered a worst case traffic scenario given the location of the site, and has assumed a low use of public transport.</p>
<p>The assumption on p4 of the Traffic Report. The two sample times overlap, so there is no transparency over the full period of peak hour. Further the peak hour study shown ends at 5.30pm. In the current circumstances many local residents arrive home after 5.30pm, many of which use their cars due to unreliable public transport.</p>	<p>90 minute traffic surveys were undertaken, with the traffic analysis based on the peak hour period.</p> <p>The manual surveys stopped at 5:30pm, as the highway traffic flows started to decrease.</p>

Point 6.1(page 9) states that “90% of generated trips leave the site during the morning peak, with the opposite occurring the evening peak”. This is manipulating the assumption for this area stating 10% daily of trips occur during peak hour and appears to contradict its own report. Refer table 4.08 (page 4).	Trip generation rates for residential developments are clearly defined in the RTA Guide, which has been used in this traffic assessment. The industry standard for a residential development is 10 percent of the daily trips occur during the peak periods. This assessment has been prepared in accordance with the Austroads Guide to Road Design for preparing traffic assessments.
The report needs to address the increase in peak hour traffic travelling south on the EDH through Old Beach in the morning peak, with the likely cause the construction of the Bridgewater Bridge. This results in frequent delays, with traffic banked back beyond old Beach Road at Old Beach. A further consequence is that many vehicles “queue jump” by turning right onto Jetty Road, speeding, increasing the local traffic and causing safety hazards. These vehicles then return to the EDH at the roundabout at Clives Avenue. On any day the constant delays for local residence are evident where vehicles are attempting to entered at Clives Avenue. It is not uncommon for 8 to 10 vehicles to be waiting to enter the Highway at these intersections from various entry points during the morning peak hour.	<p>The assessment acknowledges that the Fouche Avenue roundabout provides an alternative access to the highway, which is used by some Jetty Road motorists in the morning peak when travelling southbound.</p> <p>The predicted traffic increase on Fouche Avenue was analysed using the RTA Guide, to consider the impact of additional traffic on residential amenity. The assessment demonstrated that there would be no adverse impact to residential amenity on Fouche Avenue from additional traffic flow, as vehicles travel to the roundabout in the morning.</p> <p>Although the highway traffic flows are impacted by the Fouche Avenue roundabout, the impact is considered reasonable, as the roundabout facilitate safe access for large residential catchments either side of the highway.</p>
There doesn't appear to be any mention of the bus traffic in Jetty Road. City and Glenorchy services alternate to provide a 30 min service for the peak hour	There is sufficient road width along Jetty Road to facilitate two-way traffic flow.
There is often 3 large school buses in Jetty Road travelling in the same direction further slowing traffic and reducing visibility. Vehicles are unable to Summary of Representations pass the buses as there are multiple buses at the same stop with little to no visibility causing delays and a safety hazard for school children	This is not an issued to be addressed by the development.
Parking on Jetty Road due to overflow vehicles from site Insufficient visitor parking spaces provided	The development will provide 14 on-site visitor parking spaces at the rate of one space per three units, due to the site having limited road frontage. The number of visitor parking spaces complies with the planning scheme acceptable solution, with parking overflow not expected.
Visitor Parking is not suitably located to convenient service dwellings	There are internal pedestrian pathways connecting the visitor parking spaces with the units.
Car parking is not designed having regard to the proximity to the respective dwelling	Where possible the parking spaces are located as near as practicable to the units.
Reasonable pedestrian access from the visitor parking to respective units is not provided	Adequate internal pathways are provided.

There will be 106 bins on the street for collection, which usually occurs in peak hour. Unlikely that trucks can enter the site for reasons of safety, road width and turning, so further traffic and pedestrian hazard will be created with the bins being left and at time turned over on the footpath and surrounding road in Jetty Road

Waste collection is to occur within the site, with no waste bins to be placed along Jetty Road.

The assessment used vehicle swept path diagrams to demonstrate that a standard waste collection vehicle can enter, circulate, and leave the site in a safe and efficient manner, without impacting other users.

PROPOSED UNIT DEVELOPMENT 38 JETTY ROAD, OLD BEACH GIC ESTATES PTY LTD

PD23405

BUILDING DRAWINGS - UNITS

No.	DRAWING
01	EXISTING SITE PLAN
02	SITE PLAN
03	PART SITE PLAN
04	PART SITE PLAN
05	PART SITE LANDSCAPING PLAN
06	PART SITE LANDSCAPING PLAN
07	LOCALITY PLAN
08	P.O.S. SECTIONS
09	BUILDING ENVELOPE DIAGRAMS
10	SHADOW DIAGRAMS
11	SHADOW DIAGRAMS
12	STAGING PLAN

BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE A1	
A1-01	GROUND FLOOR PLAN
A1-02	FIRST FLOOR PLAN
A1-03	DOOR AND WINDOW SCHEDULES
A1-04	ELEVATIONS
A1-05	ELEVATIONS
A1-06	ELEVATIONS
A1-07	ROOF PLAN
TYPE A2	
A2-01	GROUND FLOOR PLAN
A2-02	DOOR AND WINDOW SCHEDULES
A2-03	ELEVATIONS
A2-04	ELEVATIONS
A2-05	ELEVATIONS
A2-06	ROOF PLAN

BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE B	
B1-01	FLOOR PLAN
B1-02	DOOR AND WINDOW SCHEDULES
B1-03	ELEVATIONS
B1-04	ELEVATIONS
B1-05	ELEVATIONS
B1-06	ELEVATIONS
B1-07	ELEVATIONS
B1-08	ELEVATIONS
B1-09	ELEVATIONS
B1-10	ELEVATIONS
B1-11	ROOF PLAN
TYPE B2	
B2-01	FLOOR PLAN
B2-02	DOOR AND WINDOW SCHEDULES
B2-03	ELEVATIONS
B2-04	ELEVATIONS
B2-05	ELEVATIONS
B2-06	ELEVATIONS
B2-07	ELEVATIONS
B2-08	ELEVATIONS
B2-09	ROOF PLAN

BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE C	
C1-01	FLOOR PLAN
C1-02	DOOR AND WINDOW SCHEDULES
C1-03	ELEVATIONS
C1-04	ELEVATIONS
C1-05	ROOF PLAN

BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE C2	
C2-01	FLOOR PLAN
C2-02	LOWER FLOOR PLAN
C2-03	DOOR AND WINDOW SCHEDULES
C2-04	ELEVATIONS
C2-05	ELEVATIONS
C2-06	ROOF PLAN
TYPE D	
D-01	FLOOR PLAN
D-02	DOOR AND WINDOW SCHEDULES
D-03	ELEVATIONS
D-04	ELEVATIONS
D-05	ROOF PLAN
TYPE E	
E-01	GROUND FLOOR PLAN
E-02	FIRST FLOOR PLAN
E-03	DOOR AND WINDOW SCHEDULES
E-04	ELEVATIONS
E-05	ELEVATIONS
E-06	ELEVATIONS
E-07	ELEVATIONS
E-08	ELEVATIONS
E-09	ELEVATIONS
E-10	ELEVATIONS
E-11	ELEVATIONS
E-12	ELEVATIONS
E-13	ELEVATIONS
E-14	ELEVATIONS
E-15	ELEVATIONS
E-16	ROOF PLAN

BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE F1	
F1-01	GROUND FLOOR PLAN
F1-02	FIRST FLOOR PLAN
F1-03	DOOR AND WINDOW SCHEDULES
F1-04	ELEVATIONS
F1-05	ELEVATIONS
F1-06	ELEVATIONS
F1-07	ELEVATIONS
F1-08	ELEVATIONS
F1-09	ELEVATIONS
F1-10	ELEVATIONS
F1-11	ELEVATIONS
F1-12	ROOF PLAN
TYPE F2	
F2-01	GROUND FLOOR PLAN
F2-02	FIRST FLOOR PLAN
F2-03	DOOR AND WINDOW SCHEDULES
F2-04	ELEVATIONS
F2-05	ELEVATIONS
F2-06	ELEVATIONS
F2-07	ELEVATIONS
F2-08	ELEVATIONS
F2-09	ELEVATIONS
F2-10	ELEVATIONS
F2-11	ELEVATIONS
F2-12	ELEVATIONS
F2-13	ELEVATIONS

BUILDING DRAWINGS - UNITS

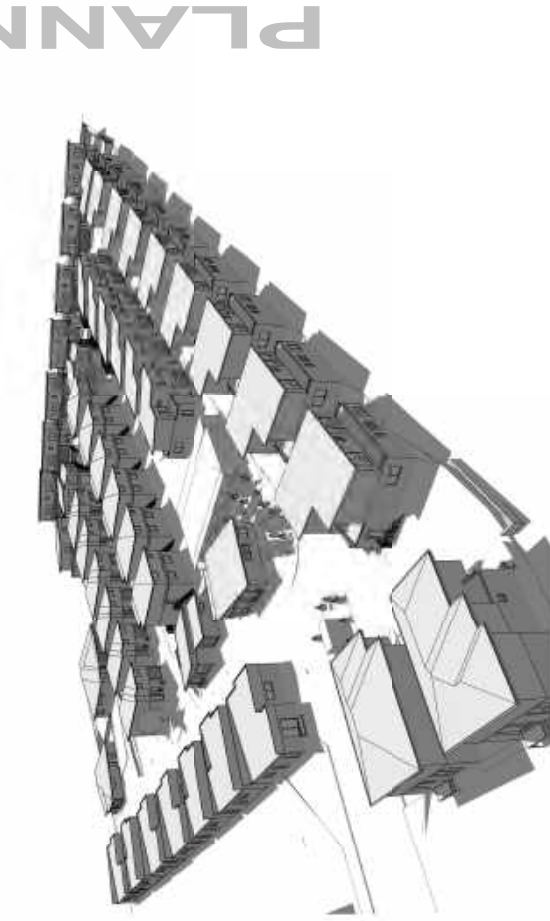
No.	DRAWING
TYPE F3	
F3-01	FLOOR PLAN
F3-02	LOWER FLOOR PLAN
F3-03	DOOR AND WINDOW SCHEDULES
F3-04	ELEVATIONS
F3-05	ELEVATIONS
F3-06	ROOF PLAN
TYPE F3.2	
F3.2-01	FLOOR PLAN
F3.2-02	LOWER FLOOR PLAN
F3.2-03	DOOR AND WINDOW SCHEDULES
F3.2-04	ELEVATIONS
F3.2-05	ELEVATIONS
F3.2-06	ROOF PLAN
TYPE F4	
F4-01	GROUND FLOOR PLAN
F4-02	FIRST FLOOR PLAN
F4-03	DOOR AND WINDOW SCHEDULES
F4-04	ELEVATIONS
F4-05	ELEVATIONS
F4-06	ELEVATIONS
F4-07	ELEVATIONS
F4-08	ELEVATIONS
F4-09	ELEVATIONS
F4-10	ROOF PLAN

BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE G	
G-01	GROUND FLOOR PLAN
G-02	FIRST FLOOR PLAN
G-03	DOOR AND WINDOW SCHEDULES
G-04	ELEVATIONS
G-05	ELEVATIONS
G-06	ELEVATIONS
G-07	ELEVATIONS
G-08	ELEVATIONS
G-09	ELEVATIONS
G-10	ELEVATIONS
G-11	ELEVATIONS
G-12	ELEVATIONS
G-13	ELEVATIONS
G-14	ELEVATIONS
G-15	ELEVATIONS
G-16	ROOF PLAN
TYPE H1	
H1-01	FLOOR PLAN
H1-02	DOOR AND WINDOW SCHEDULES
H1-03	ELEVATIONS
H1-04	ELEVATIONS
H1-05	ROOF PLAN

BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE H2	
H2-01	FLOOR PLAN
H2-02	DOOR AND WINDOW SCHEDULES
H2-03	ELEVATIONS
H2-04	ELEVATIONS
H2-05	ROOF PLAN
TYPE I	
I-01	GROUND FLOOR PLAN
I-02	FIRST FLOOR PLAN
I-03	DOOR AND WINDOW SCHEDULES
I-04	ELEVATIONS
I-05	ELEVATIONS
I-06	ELEVATIONS
I-07	ELEVATIONS
I-08	ELEVATIONS
I-09	ELEVATIONS
I-10	ELEVATIONS
I-11	ELEVATIONS
I-12	ELEVATIONS
I-13	ELEVATIONS
I-14	ELEVATIONS
I-15	ELEVATIONS
I-16	ELEVATIONS
I-17	ELEVATIONS
I-18	ROOF PLAN



GENERAL PROJECT INFORMATION
 TITLE: PROPOSED UNIT DEVELOPMENT
 SITE AREA: 18571M² (TOTAL)
 DESIGN AND SPEED: N3
 SOIL CLASSIFICATION: M
 CLIMATE ZONE: ALPINE AREA, NO
 CORROSION ENVIRONMENT: MEDIUM
 BAL RATING: TBC
 OTHER KNOWN HAZARDS: NONE KNOWN



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 Info@primedesign.com.au | www.primedesign.com.au
 Accredited Building Practitioner Frank Gellera No. C12961

MAY 2024

PLANNING

- GENERAL NOTES:**
- CHECK ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL DIMENSIONS TO BE TAKEN FROM THE CORNER OF THE S.A.A. CODES & LOCAL AUTHORITY BY LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT
 - CONTAIN ALL FLOOR AREAS
 - BUILDING PERMITS TO BE OBTAINED FROM THE LOCAL COUNCIL INSPECTOR WITH A.S.
 - BUILDER PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION
 - SEWER BEFORE CONSTRUCTION COMMENCES
 - THE DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S
 - ALL WINDOWS AND SHUTTERS TO COMPLY WITH AS 1288 & AS 2047
 - ALL WINDOWS AND SHUTTERS TO BE SUPPLIED BY THE CONTRACTOR
 - ASSISTED ENTRY AND SURVEYOR AND CHECKED PRIOR TO
 - CONSTRUCTION
 - FROM THE DESIGN IN THE SET OF PLANS AS OFFER
 - DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - CONDITIONS
 - PRIOR TO ANY REMEDIATION, EXCAVATION, FINAL DESIGN OR CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3987, READ IN CONJUNCTION
 - WITH SURFACE ATTACK LEVEL (SAL) ASSESSMENT REPORT.

SURVEY NOTES:

WHILE ALL REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL VISIBLE CORNERS AND BOUNDARIES, THERE MAY BE OTHER SERVICES WHICH WERE NOT LOCATED DURING THE FIELD SURVEY.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY EXISTING TITLE DIMENSIONS AND OCCUPATION (WHERE AVAILABLE) ONLY AND NOT BY FIELD SURVEY. THEREFORE, THE BOUNDARIES SHOWN ON THIS PLAN SHOULD NOT BE USED FOR BUILDING TO BOUNDARY OR TO RECOVER BOUNDARY SET-BACKS, WITHOUT FURTHER SURVEY.

PRIOR TO ANY REMEDIATION, EXCAVATION, FINAL DESIGN OR CONSTRUCTION OF THE PROPOSED WORK, THE INSPECTION SHOULD BE COMPLETED BY THE RELEVANT ENGINEERS.

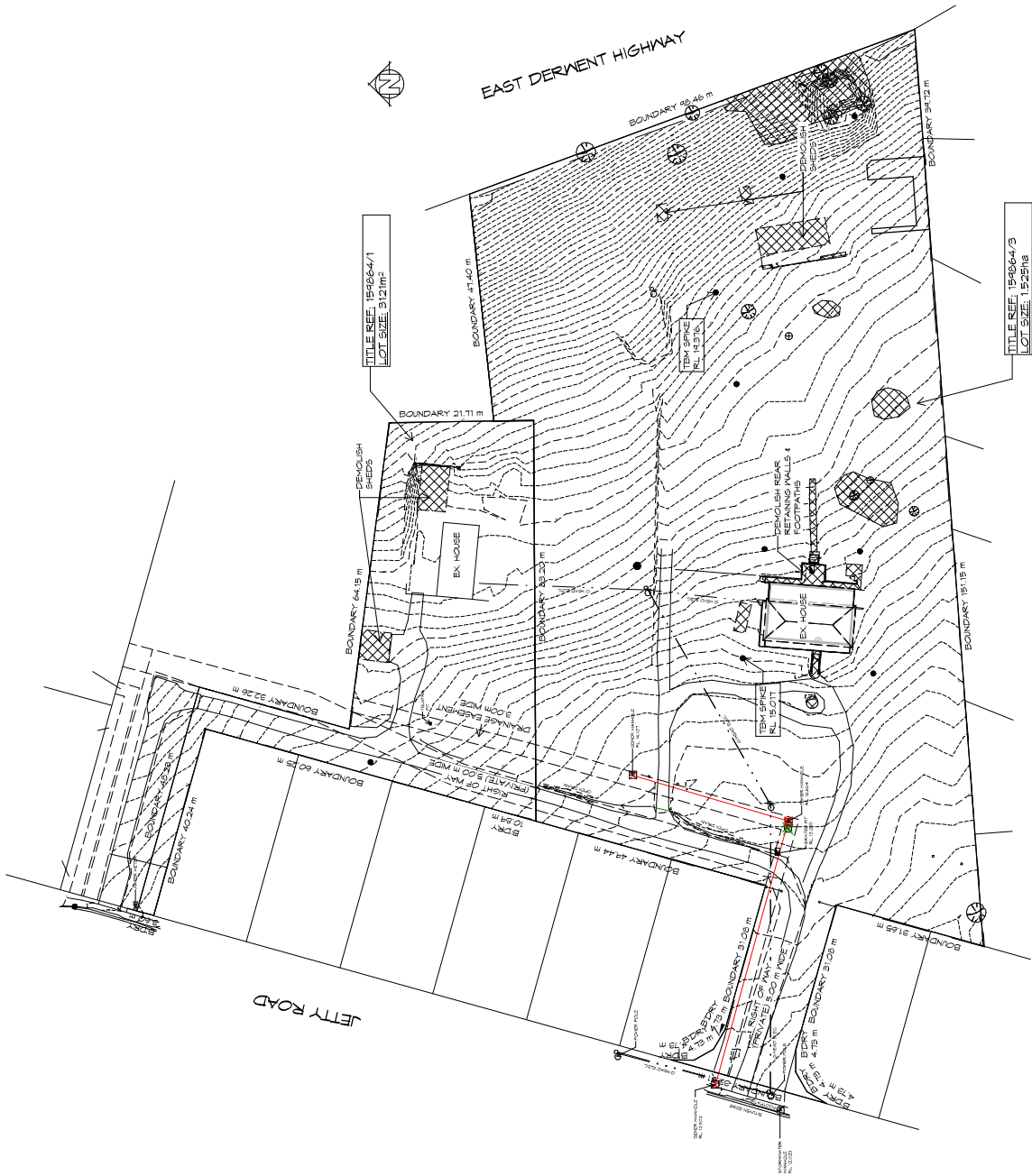
ALL SURVEY DATA IS TO THE LEVEL (EVALUATED) OF ANY SPECIFIC FEATURE CAN BE INTERROGATED WITH A SUITABLE CAD PACKAGE. SPOT HEIGHTS OF POINTS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS THE APPROPRIATE LAYERS AND CAN BE DISPLAYED AS REQUIRED.

DATA IN VERTICAL AND PER SPINBAR WITH REPUTED AND LEVEL OF 1.885 FROM SURVEY ON 05/11/2023

DATE OF SURVEY: 05/11/2023, 07/11/2023

CONTOUR INTERVAL: 0.20M

IMPORTANT NOTE:
DRAWINGS CAN BE READ IN BLACK & WHITE
HOWEVER ARE BEST PRINTED IN FULL COLOUR
FOR CONTRACTORS COMPLETING WORKS.
ALL DIMENSIONS AND LEVELS SHOULD BE RETAINED ON SITE AT ALL TIMES



TITLE REF: 154964/1
LOT SIZE: 3.121M²

TITLE REF: 154964/3
LOT SIZE: 1.52518

EXISTING SITE PLAN
1:500



10 Goodwin Court, Invermay, Tasmania 7248,
Step 1, 102411 Main Road, Moorook Hobart 7009
Ph: 03 6228 8575
Email: info@primedesign.com.au, prime@primedesign.com.au

Project: PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH
Client Name: GIC ESTATES PTY LTD
Drawing: EXISTING SITE PLAN

Drawn by: D.D.H.
Checked by: D.D.H.
Date: 20.05.2024
Project Number: PD23405-01
Revision: 05
Accession Number: PD23405-01
Accession Number: PD23405-01





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Australia
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Project: PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH
Client Name: GIC ESTATES PTY LTD
Drawing Title: PART SITE PLAN

Drawn by: D.D.H.
Checked by: M.P.B.
Date: 20.05.2024
Project Number: PD23405-03
Revision: 05
Accession Number: PD23405-03
Accession Date: 20.05.2024
Accession Time: 1:25:04
Accession User: pd23405-03
Accession Location: PD23405-03

- GENERAL NOTES:**
- ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED.
 - ALL WORKS TO BE STRICTLY IN ACCORDANCE WITH NCC 2022. ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL THICKNESS.
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 1500 FOR 150MM DIA. WATER AND 150MM DIA. WASTE PIPES TO BE INSTALLED IN CONJUNCTION WITH THE BUILDING DESIGNER'S DESIGN.
 - THE DRAWINGS TO BE READ IN CONJUNCTION WITH THE BUILDING DESIGNER'S DESIGN AND CHECKED PRIOR TO CONSTRUCTION.
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFERS FROM THE DESIGN IN THE SET OF DRAWINGS DATED 15.05.2023, THE BUILDING DESIGNER'S DESIGN SHALL PREVAIL.
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND DOCUMENTS BUILT AND CHECKED PRIOR TO CONSTRUCTION.
 - BUILDER TO COMPLY WITH ALL PLANNING AND BUILDING APPROVALS AND CHECKED PRIOR TO CONSTRUCTION.
 - CONSTRUCTION TO COMPLY WITH AS 1500 FOR 150MM DIA. WATER AND WASTE PIPES TO BE INSTALLED IN CONJUNCTION WITH BUILDING APPROVAL REPORT.

SURVEY NOTES:

WHILE ALL REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL VISIBLE ABOVE GROUND SERVICES, THERE MAY BE OTHER SERVICES WHICH ARE NOT LOCATED DURING THE FIELD SURVEY.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE SURVEY AND AS A RESULT ARE CONSIDERED APPROXIMATE ONLY. THIS PLAN SET BACKS WITHOUT FURTHER SURVEY, EXAMINATION OR PRESUMPTION FROM TO ANY DEMOLITION, EXCAVATION, FINAL DESIGN OR CONSTRUCTION ON THIS SITE. A FULL SITE INSPECTION SHOULD BE COMPLETED BY THE RELEVANT ENGINEERS.

ALL SURVEY DATA IS TO THE LEVEL OF 1.100 UNLESS OTHERWISE STATED. ALL HEADINGS, INCLUDING PIPE INVERTS, ARE INCLUDED IN THE MODEL SPACE APPROPRIATE LAYERS AND CAN BE DISPLAYED AS REQUESTED.

DATA: VERTICAL AND HORIZONTAL WITH REFERRED HAD LEVEL OF 1.100 FROM SWACOM ON 06/11/2023.

DATE OF SURVEY: 06/11/2023, 07/11/2023

CONTOUR INTERVAL: 0.20M

IMPORTANT NOTE:

DRAWINGS CAN BE READ IN BLACK & WHITE. HOWEVER, ARE BEST PRINTED IN FULL COLOUR. DIMENSIONS AND COORDINATE VALUES ARE INCLUDED ONLY AND NOT BY FIELD SURVEY. DIMENSIONS AND COORDINATE VALUES ARE INCLUDED IN THE MODEL SPACE APPROPRIATE LAYERS AND CAN BE DISPLAYED AS REQUESTED.

FOR CONTRACTORS COMPLETING WORKS.



LEGEND

- PROPOSED TREE - 1m
- PROPOSED SHRUB - 2m-7m
- PROPOSED GROUNDCOVER/GRASS - 100mm-150mm
- LAWN
- MULCH OR SIMILAR
- CONCRETE PATH/PAVING
- CONCRETE DRIVEWAY
- LETTER BOX
- WASTE STORAGE 1.5m2
- GATE
- FENCE 1.8m HIGH
- KERB
- CLOTHES LINES - WALL MOUNT
- ENGINEERED RETAINING WALL
- ELECTRICAL TURRET

SITE COVERAGE
 BUILDING FOOTPRINT 4864.85m² / SITE AREA 16571m²
 TOTAL SITE COVERAGE 28.4%

PLANTING SCHEDULE						
ABB.	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT & SPREAD	POT SIZE	DENSITY	COUNT
1	PROPOSED TREE	PROPOSED TREE	1m	100mm	100	100
2	PROPOSED SHRUB	PROPOSED SHRUB	2m-7m	200mm	200	200
3	PROPOSED GROUNDCOVER/GRASS	PROPOSED GROUNDCOVER/GRASS	100mm-150mm	100mm	100	100
4	LAWN	LAWN				
5	MULCH OR SIMILAR	MULCH OR SIMILAR				
6	CONCRETE PATH/PAVING	CONCRETE PATH/PAVING				
7	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY				
8	LETTER BOX	LETTER BOX				
9	WASTE STORAGE 1.5m2	WASTE STORAGE 1.5m2				
10	GATE	GATE				
11	FENCE 1.8m HIGH	FENCE 1.8m HIGH				
12	KERB	KERB				
13	CLOTHES LINES - WALL MOUNT	CLOTHES LINES - WALL MOUNT				
14	ENGINEERED RETAINING WALL	ENGINEERED RETAINING WALL				
15	ELECTRICAL TURRET	ELECTRICAL TURRET				

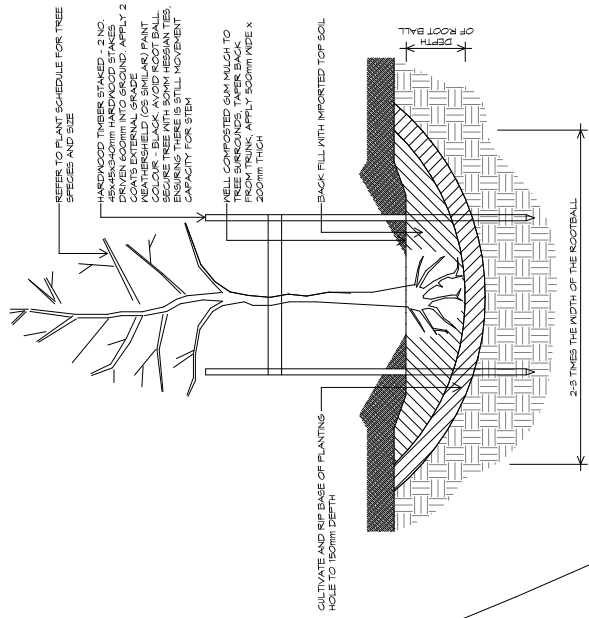


EAST DERWENT HIGHWAY



NOT TO SCALE OFF PLAN

PLANNING



10 Goodwin Court, Invermay, Tasmania 7248,
 Shop 15, 102411 Main Road, Moorah, Hobart 7509
 Ph: 03 6228 4675
 Email: info@primedesign.com.au, primedesign.com.au

Project:
 PROPOSED UNIT DEVELOPMENT
 38 JETTY ROAD,
 OLD BEACH

Client Name:
 GC ESTATES PTY LTD

Project:
 PART SITE LANDSCAPING PLAN

Drawn by:
 D.D.H.

Approved by:
 R.A.P.

Date:
 20.05.2024

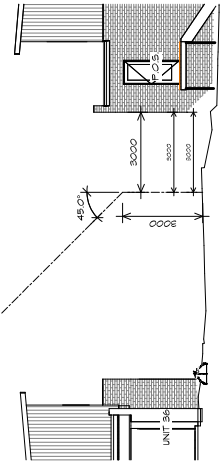
Project Number:
 PD23405-406

Revision:
 05

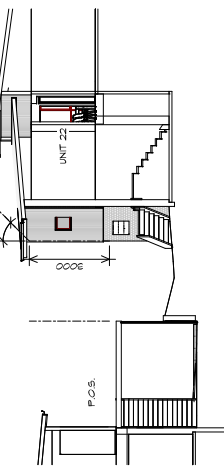
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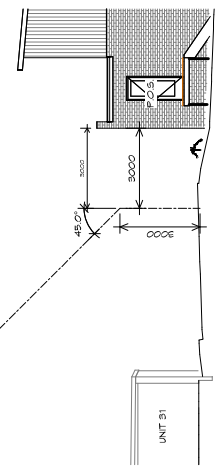
LOCALITY PLAN
1:2000



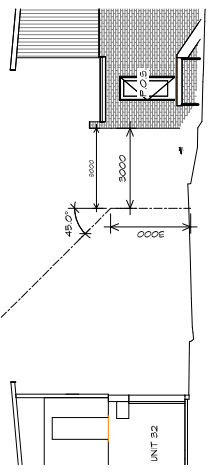
UNIT 45 POS SECTION
1:100



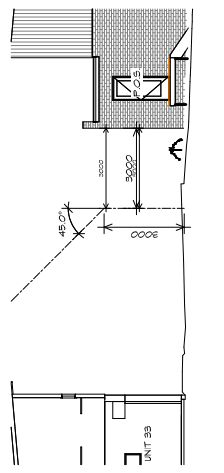
UNIT 37 POS SECTION
1:100



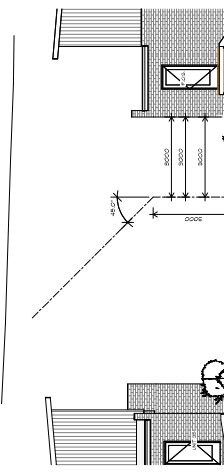
UNIT 41 POS SECTION
1:100



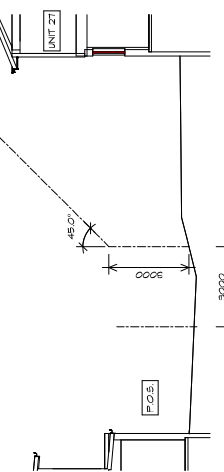
UNIT 42 POS SECTION
1:100



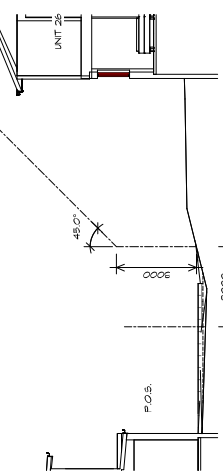
UNIT 43 POS SECTION
1:100



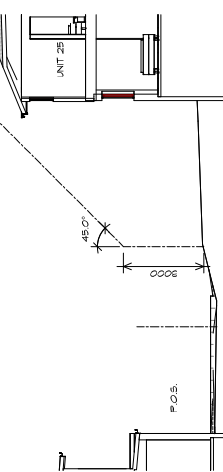
UNIT 44 POS SECTION
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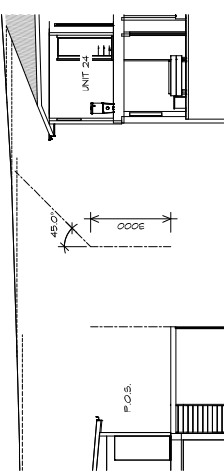
UNIT 32 POS SECTION
1:100



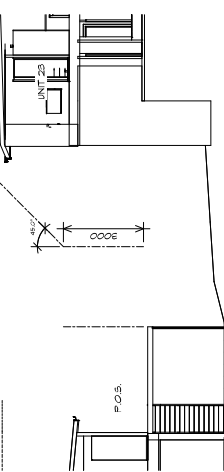
UNIT 33 POS SECTION
1:100



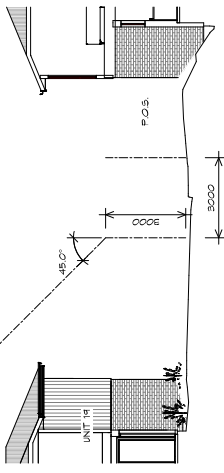
UNIT 34 POS SECTION
1:100



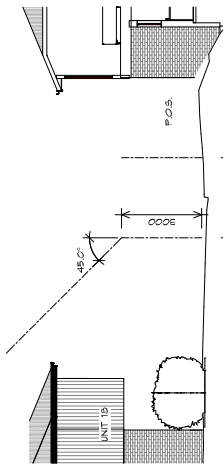
UNIT 35 POS SECTION
1:100



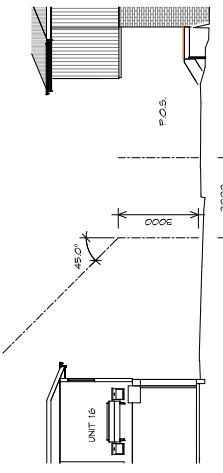
UNIT 36 POS SECTION
1:100



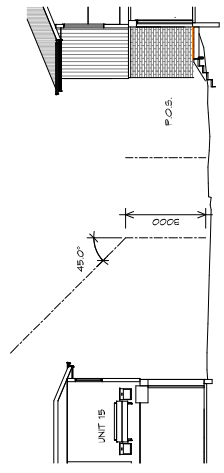
UNIT 24 POS SECTION
1:100



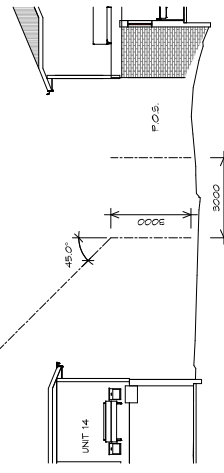
UNIT 25 POS SECTION
1:100



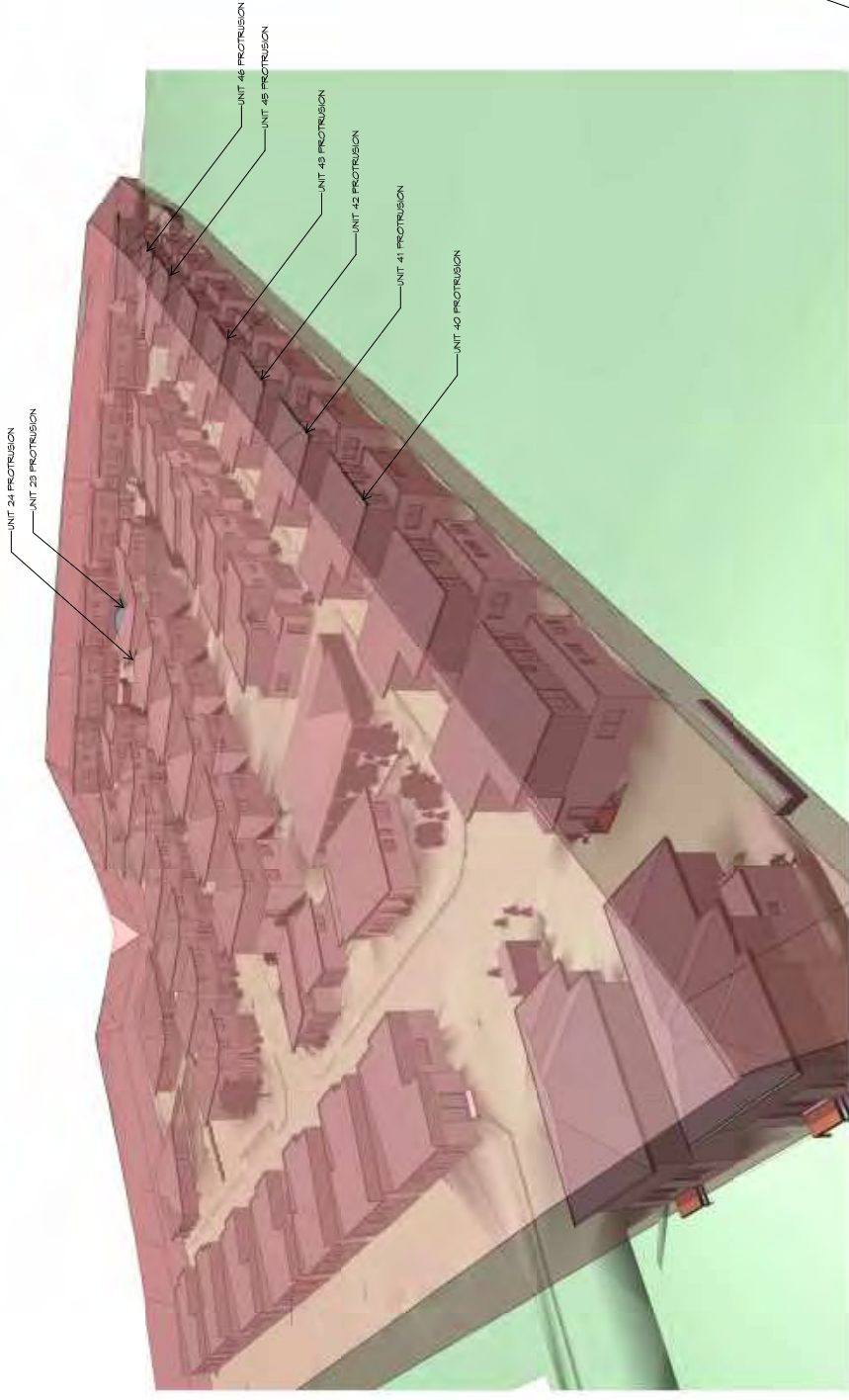
UNIT 26 POS SECTION
1:100



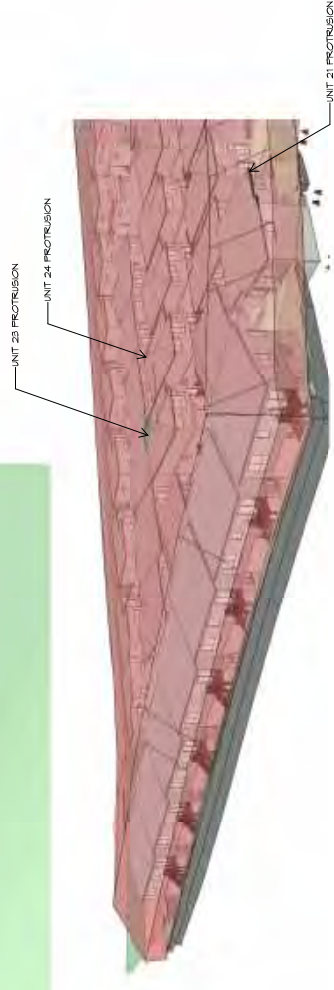
UNIT 27 POS SECTION
1:100



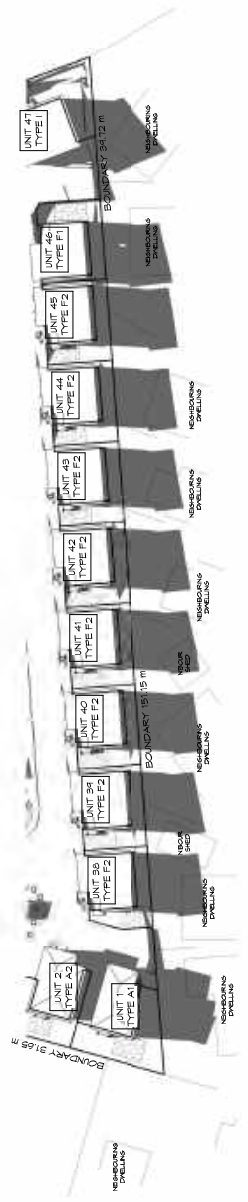
UNIT 28 POS SECTION
1:100



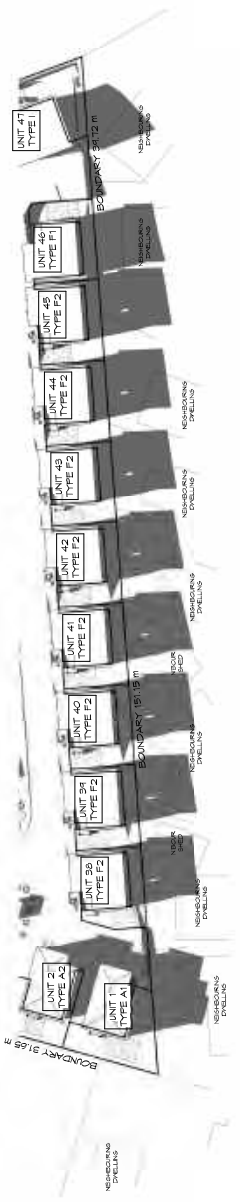
BUILDING ENVELOPE DIAGRAM 1



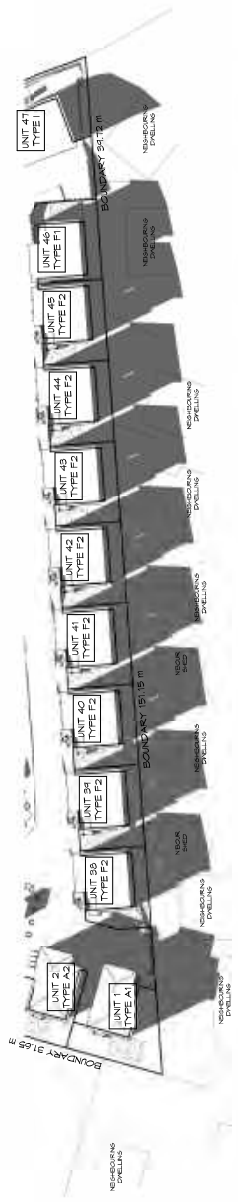
BUILDING ENVELOPE DIAGRAM 2



SHADOW DIAGRAMS - 21ST JUNE @ 12PM
1:500



SHADOW DIAGRAMS - 21ST JUNE @ 1PM
1:500



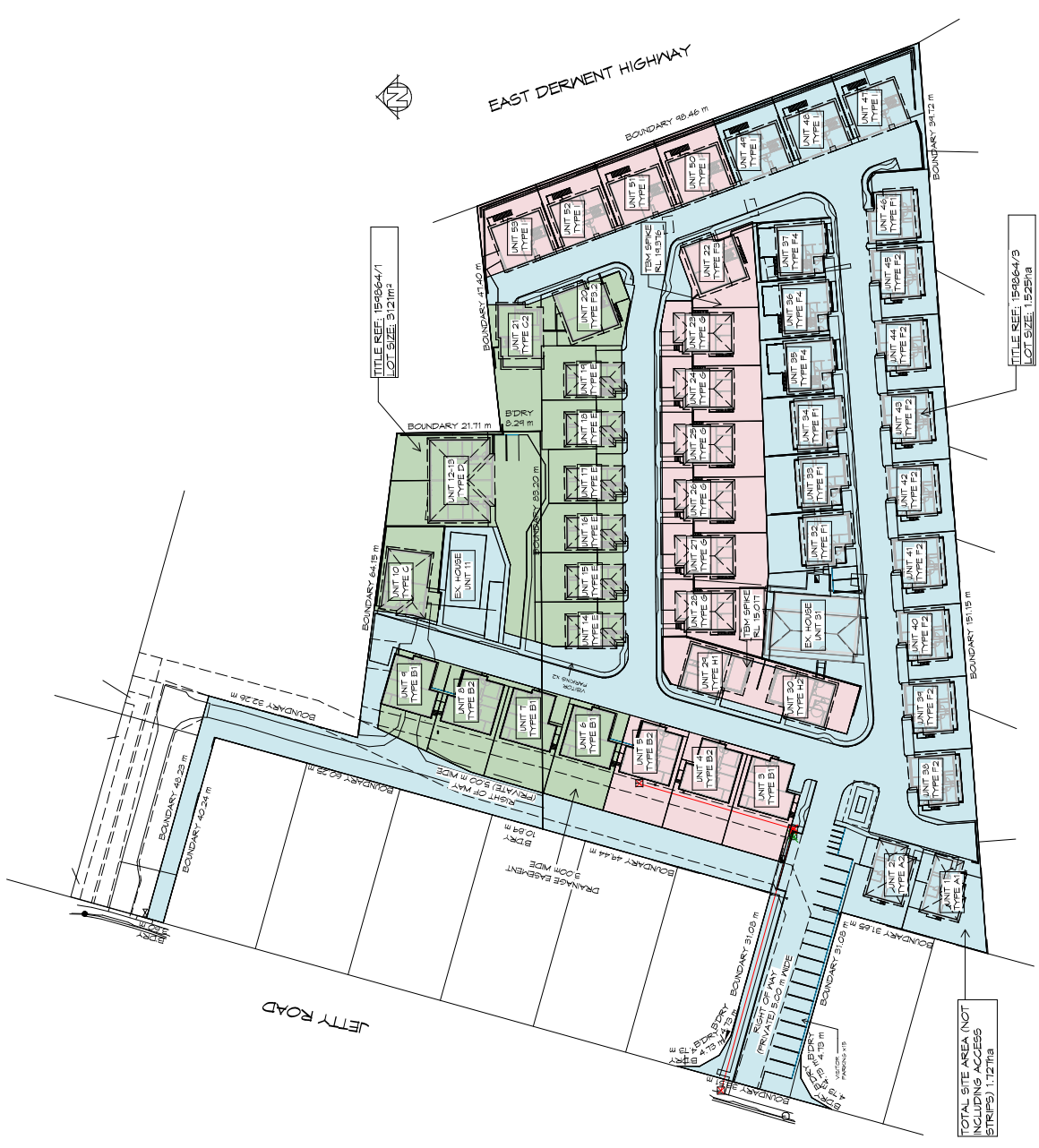
SHADOW DIAGRAMS - 21ST JUNE @ 2PM
1:500



SHADOW DIAGRAMS - 21ST JUNE @ 3PM
1:500

- LEGEND**
- STAGE 1
 - 20 NEW UNITS, 2 EXISTING
 - ALL STORMWATER/SEWER/WATER/ELECTRICAL INFRASTRUCTURE
 - STAGE 2
 - 16 UNITS
 - STAGE 3
 - 15 UNITS

NOTE: EN APPLICATION IS FOR APPROVAL TO DO FULL DEVELOPMENT IN 1 STAGE. THIS PLAN IS FOR INDICATIVE IDEA OF WHAT IT WOULD LOOK LIKE IF THE DEVELOPMENT WERE TO BE STAGED.



STAGING PLAN
 1:500

NOTE: DO NOT SCALE OFF DRAWINGS



Drawing: GROUND FLOOR PLAN

Client name: GIC ESTATES PTY LTD

Project: PROPOSED UNIT DEVELOPMENT
 38 JETTY ROAD,
 OLD BEACH

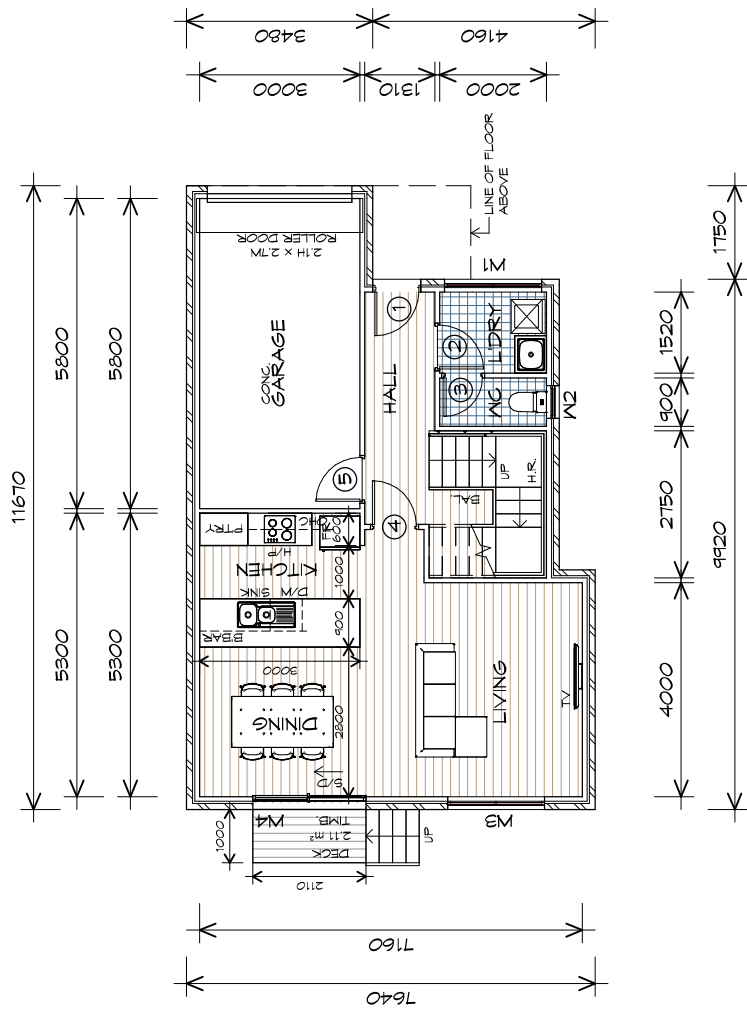
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 p(0)+ 03 6228 4575
 info@primedesignias.com.au primedesignias.com.au



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

- LEGEND**
- CSP CAVITY SLIDING DOOR
 - S/D SLIDING DOOR
 - S/L SIDELIGHT
 - COL COLUMN
 - G.S. GLASS SCREEN
 - HWC HOT WATER CYLINDER



GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	57.88	m ²	(6.23	SQUARES)
FIRST FLOOR AREA	78.19	m ²	(8.42	SQUARES)
GARAGE AREA	20.87	m ²	(2.19	SQUARES)
TOTAL AREA	156.44		16.84	

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT
 38 JETTY ROAD,
 OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

FIRST FLOOR PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

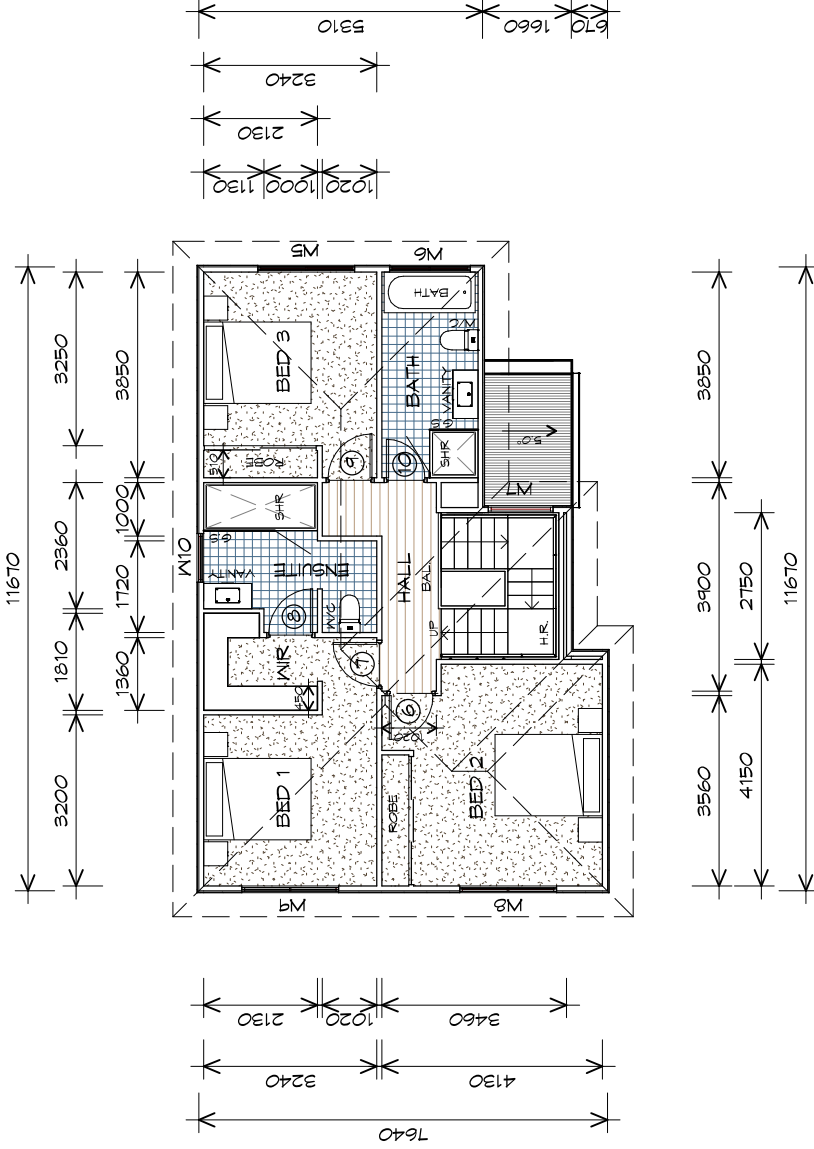
Project/Drawing no:

PD23405 -A1-02

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	57.88	m ²	(6.23	SQUARES)
FIRST FLOOR AREA	78.19	m ²	(9.42	SQUARES)
GARAGE AREA	20.37	m ²	(2.19	SQUARES)
TOTAL AREA	156.44		16.84	

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
 BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
 DECKS AND OUTDOOR AREAS ARE CALCULATED
 SEPARATELY.

TYPE A1 - UNIT 1



GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	720	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	900	1810	AWNING WINDOW	
W2	600	610	AWNING WINDOW	OPAQUE
W3	1800	1810	AWNING WINDOW	
W4	2100	2110	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT ??? BAL RATING
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	
10	720	INTERNAL TIMBER DOOR	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W5	1800	1810	AWNING WINDOW	
W6	1000	1510	AWNING WINDOW	OPAQUE
W7	1500	1210	FIXED WINDOW	
W8	1000	1810	AWNING WINDOW	
W9	1000	1810	AWNING WINDOW	
W10	900	910	AWNING WINDOW	OPAQUE

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

DOOR AND WINDOW
SCHEDULES

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

Project/Drawing no:

PD23405 -A1-03

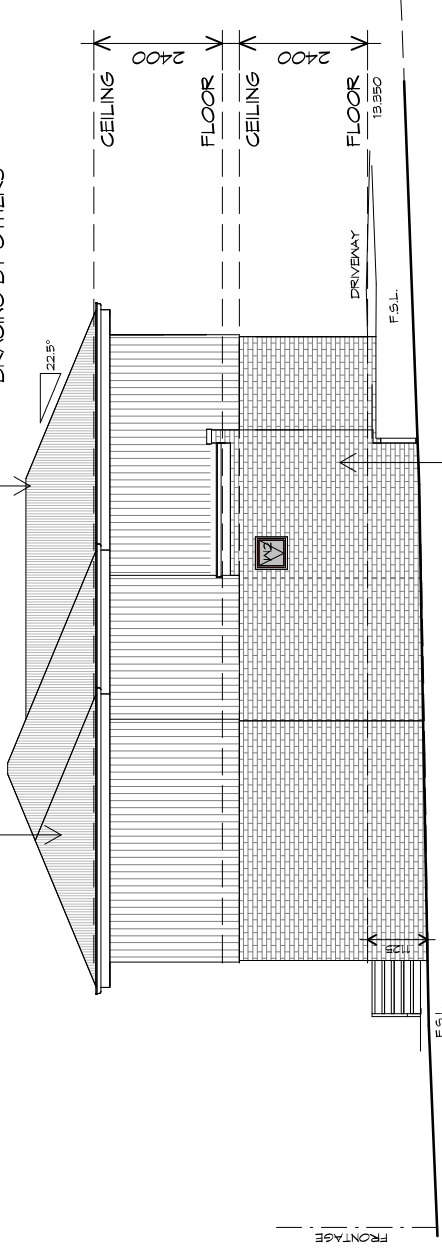
Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

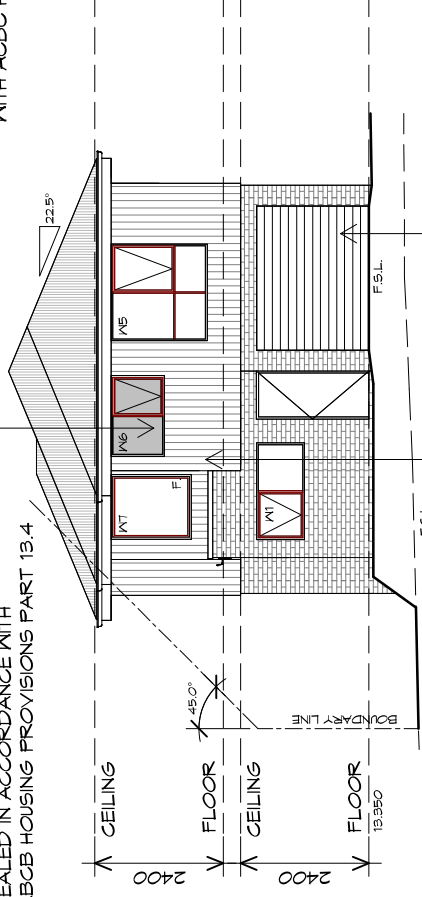


U1 SOUTHERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ACBC HOUSING PROVISIONS PART 13.4



SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.

ROLLER DOOR 2700 WIDE x 2100 HIGH
FIXED IN ACCORDANCE WITH
MANUFACTURERS SPEC

U1 EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

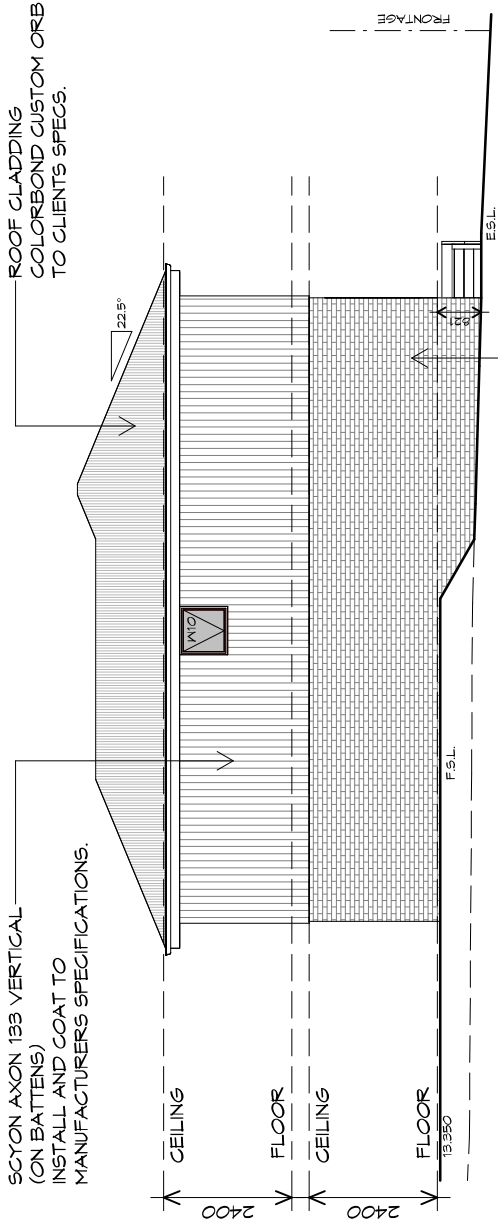
PD23405 -A1-04

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.

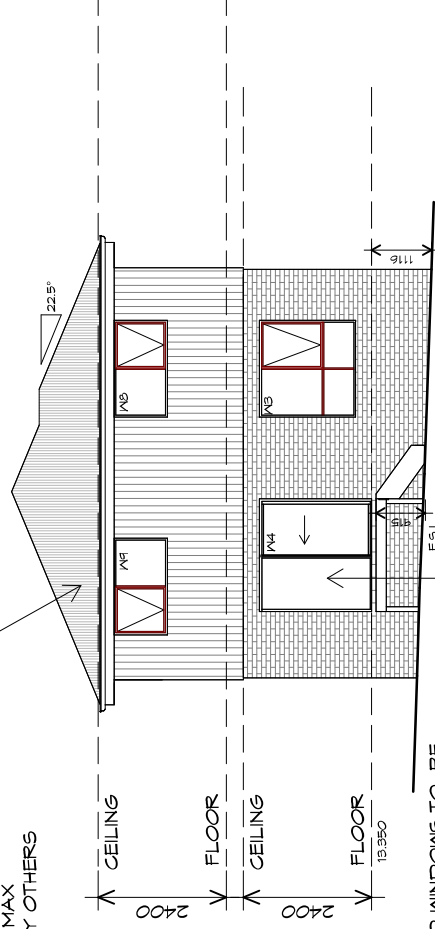


U1 NORTHERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



U1 WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ACBC HOUSING PROVISIONS PART 13.4



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD

Drawing:
ELEVATIONS

Drafted by:
Author
Approved by:
Approver
Date:
20.05.2024
Scale:
1 : 100

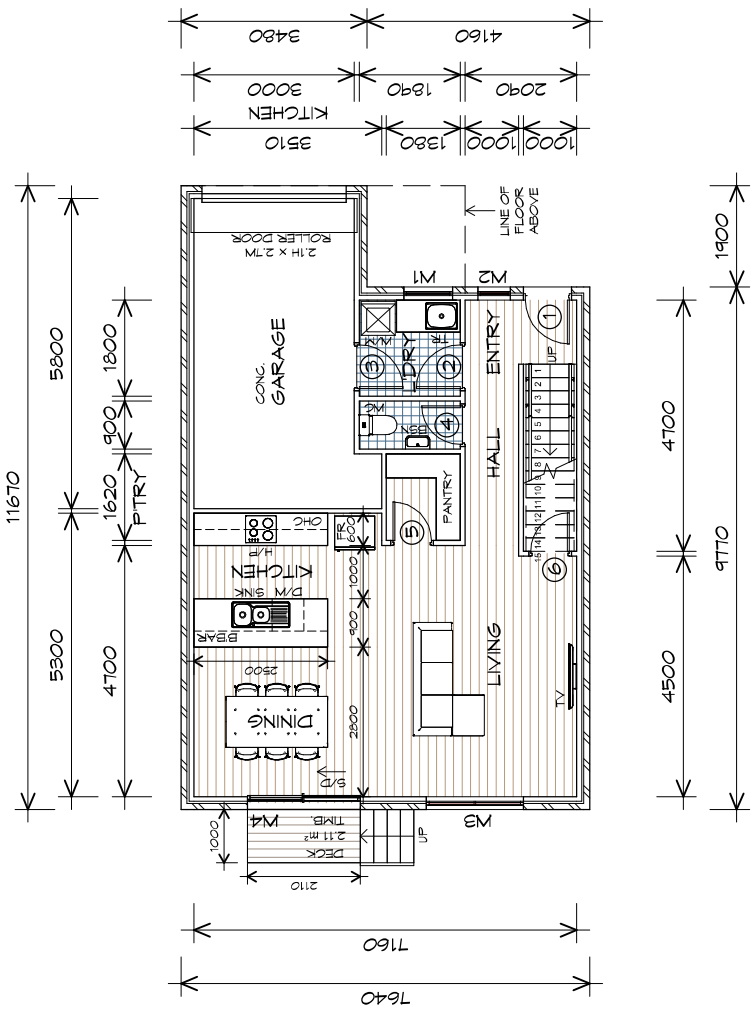
Project/Drawing no:
PD23405 -A1-05
Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER



GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	60.33	m ²	(6.49	SQUARES)
FIRST FLOOR AREA	86.05	m ²	(9.26	SQUARES)
GARAGE AREA	20.95	m ²	(2.26	SQUARES)
TOTAL AREA	167.33		18.01	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD

Drawing:
GROUND FLOOR PLAN

Drafted by:
Author

Approved by:
Approver

Date: 20.05.2024
Scale: 1 : 100

Project/Drawing no:
PD23405 -A2-01

Revision:
05

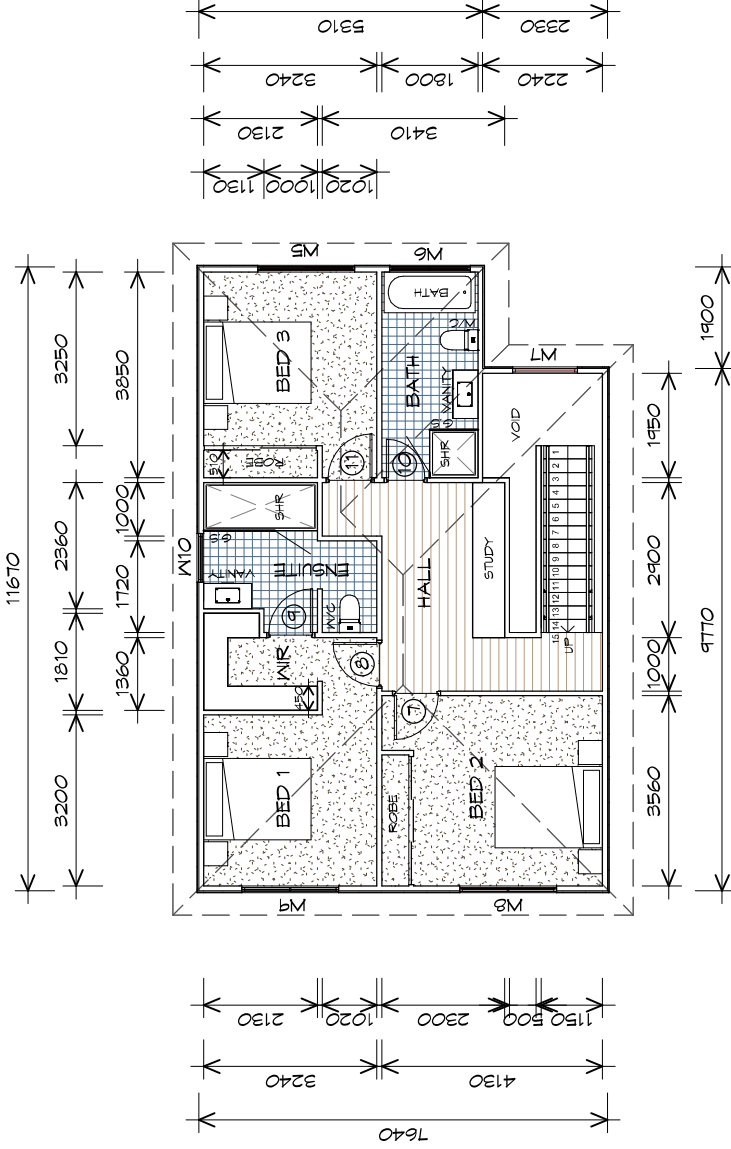
Accredited building practitioner: Frank Geskuis -No CC246A

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	60.33	m ²	(6.49	SQUARES)
FIRST FLOOR AREA	86.05	m ²	(9.26	SQUARES)
GARAGE AREA	20.95	m ²	(2.26	SQUARES)
TOTAL AREA	167.33		18.01	

NOTE:
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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

FIRST FLOOR PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -A2-02

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	720	INTERNAL TIMBER DOOR	
5	720	INTERNAL TIMBER DOOR	
6	720	INTERNAL TIMBER DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	900	910	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	1810	AWNING WINDOW	
W4	2100	2110	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT ??? BAL RATING
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	
10	720	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W5	1800	1810	AWNING WINDOW	
W6	1000	1510	AWNING WINDOW	OPAQUE
W7	1500	1210	FIXED WINDOW	
W8	1000	1810	AWNING WINDOW	
W9	1000	1810	AWNING WINDOW	
W10	900	910	AWNING WINDOW	OPAQUE



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Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD

Drawing:
**DOOR AND WINDOW
SCHEDULES**

Drafted by:
Author

Approved by:
Approver

Date:
20.05.2024

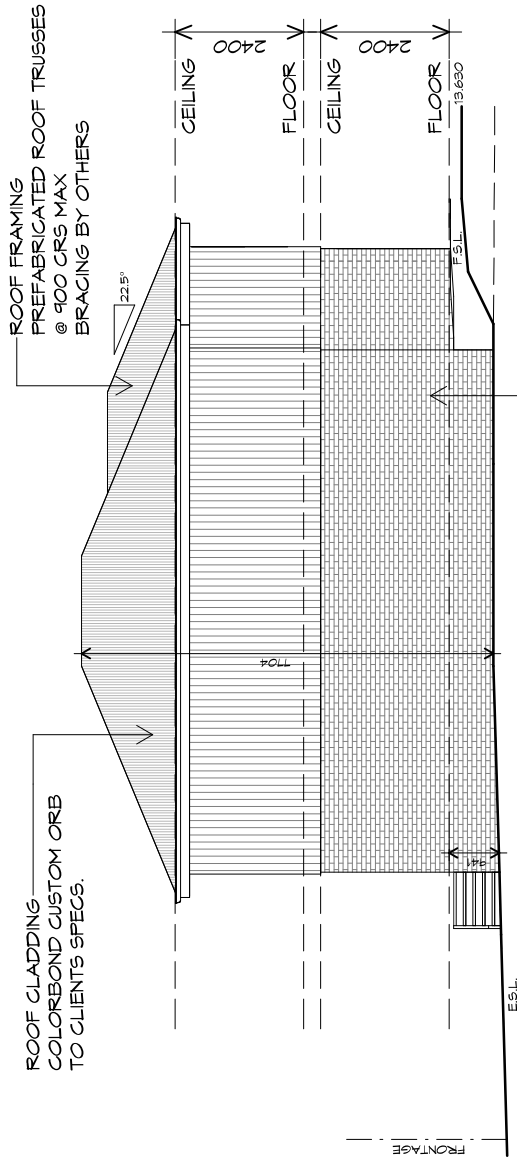
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Project/Drawing no:
PD23405 -A2-03

Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A



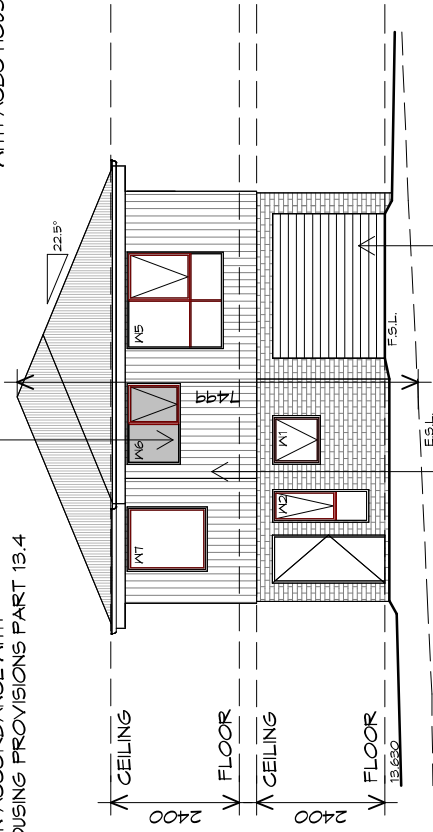


U2 SOUTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

BRICKWORK:
SELECTED FIRED CLAY
FACE BRICKS,
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5



SCYON AXON 188 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.

U2 EASTERN ELEVATION

1 : 100

ROLLER DOOR 2100 WIDE X 2100 HIGH
FIXED IN ACCORDANCE WITH
MANUFACTURERS SPEC



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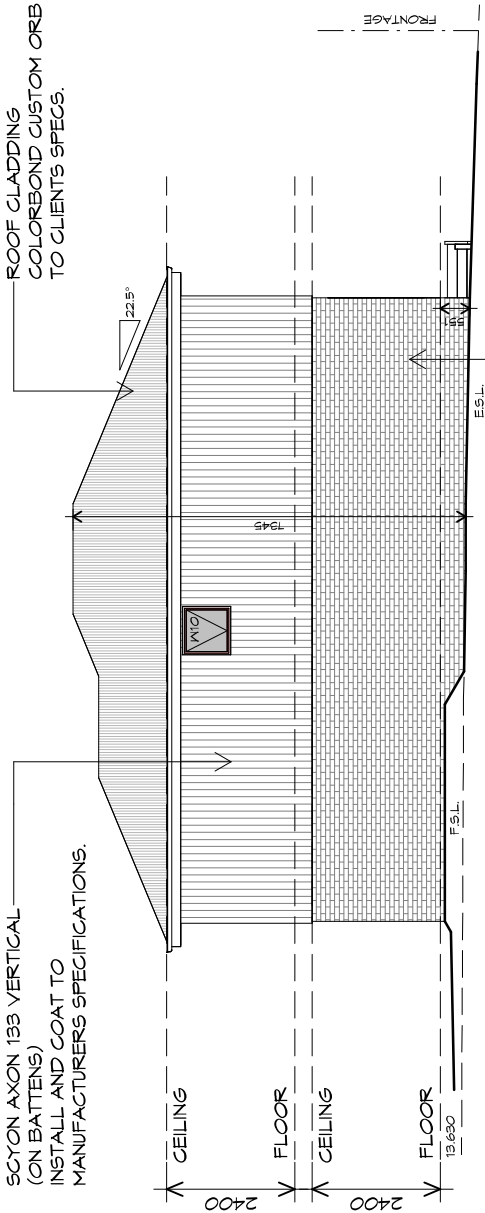
Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD
Drawing:
ELEVATIONS

Drafted by:
Author
Approved by:
Approver
Date:
20.05.2024
Scale:
1 : 100

Project/Drawing no:
PD23405 -A2-04
Revision:
05
Accredited building practitioner: Frank Geskus -No CC246A

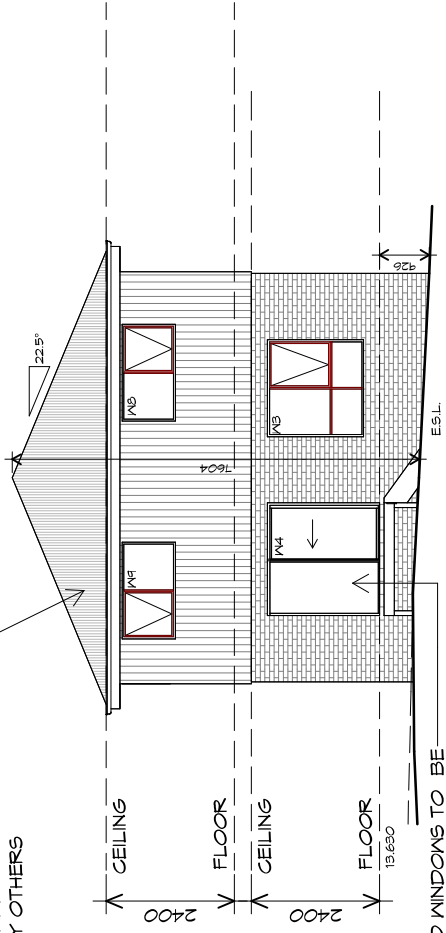




U2 NORTHERN ELEVATION

1 : 100

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS



U2 WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 ACBC HOUSING PROVISIONS PART 13.4



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Project:
**PROPOSED UNIT DEVELOPMENT
 38 JETTY ROAD,
 OLD BEACH**

Client name:
GIC ESTATES PTY LTD
 Drawing:
ELEVATIONS

Drafted by:
Author
 Approved by:
Approver
 Date: 20.05.2024 Scale: 1 : 100

Project/Drawing no:
PD23405 -A2-05
 Revision: 05
 Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLUMBING NOTES:

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1300 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

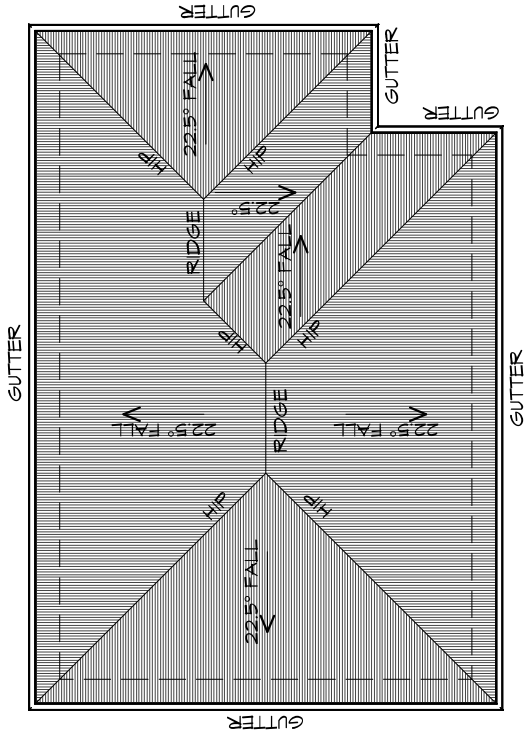
- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS, 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P.S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5-7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ROOF PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -A2-06

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.G. SQUARE STOP
- M/M MICROWAVE
- DA DISHWASHER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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 p(b)+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD

Drawing:
FLOOR PLAN

Drafted by:
Author

Approved by:
Approver

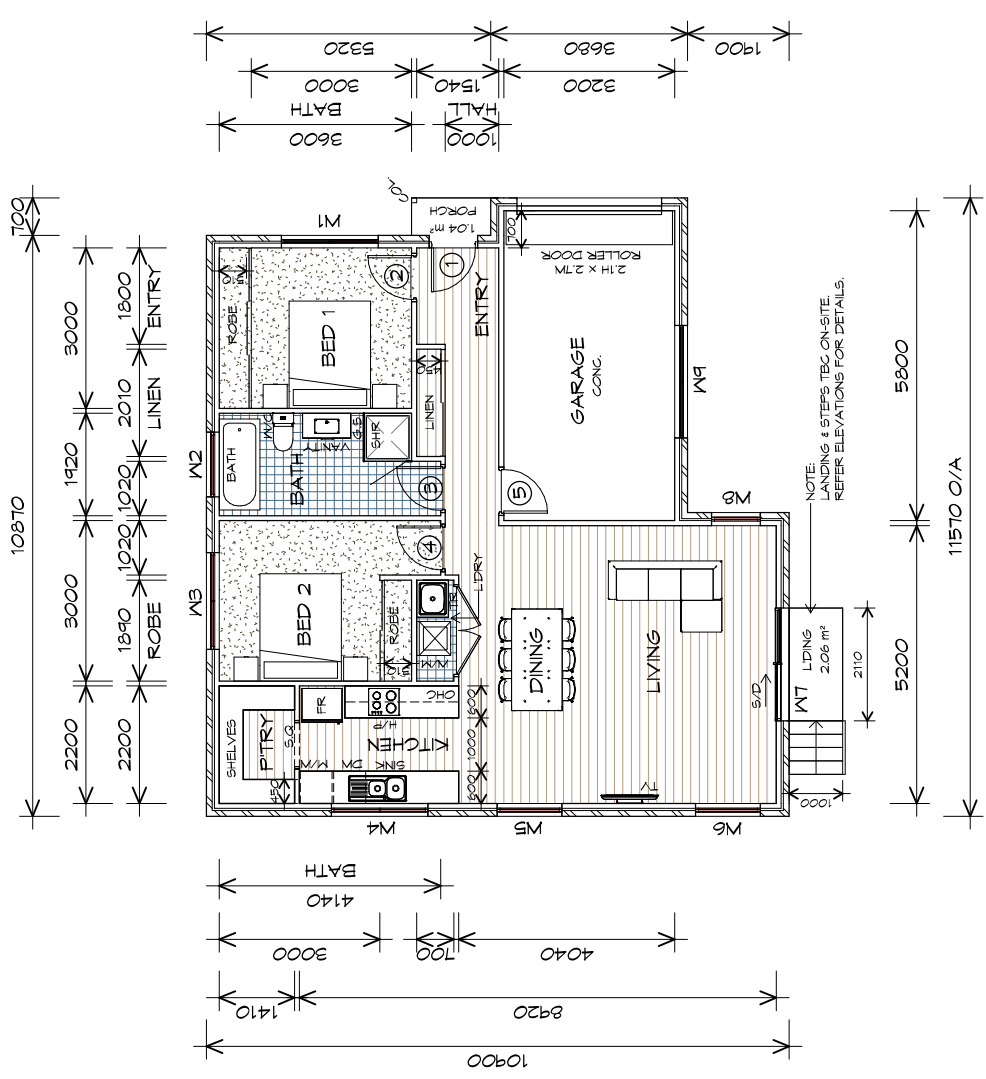
Date:
 20.05.2024

Scale:
 1 : 100

Project/Drawing no:
PD23405 -B1-01

Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

FLOOR AREA	84.88	M ²	(91.67 SQUARES)
GARAGE AREA	21.37	M ²	(23.0 SQUARES)
TOTAL AREA	111.24		111.97

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

TYPE B1 - UNIT 3, 6-7, 9



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	Ø20	EXTERNAL SOLID DOOR	
2	Ø20	INTERNAL TIMBER DOOR	
3	Ø20	INTERNAL TIMBER DOOR	
4	Ø20	INTERNAL TIMBER DOOR	
5	Ø20	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	ANNING WINDOW	
W2	1000	1210	ANNING WINDOW	OPAQUE
W3	1000	1810	ANNING WINDOW	
W4	1000	1810	ANNING WINDOW	
W5	1800	1210	ANNING WINDOW	
W6	1800	1210	ANNING WINDOW	
W7	2100	2110	SLIDING DOOR	
W8	1800	910	ANNING WINDOW	
W9	900	2110	ANNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **TBC BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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 info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD

Drawing:
DOOR AND WINDOW
SCHEDULES

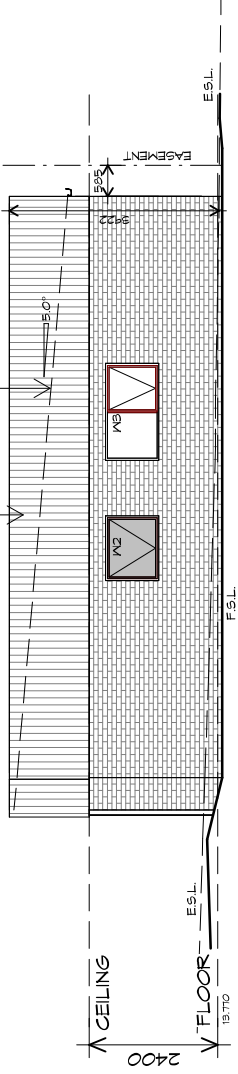
Drafted by:
Author
 Approved by:
Approver
 Date: 20.05.2024
 Scale:

Project/Drawing no:
PD23405 -B1-02
 Revision:
05
 Accredited building practitioner: Frank Geskus -No CC246A



SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.

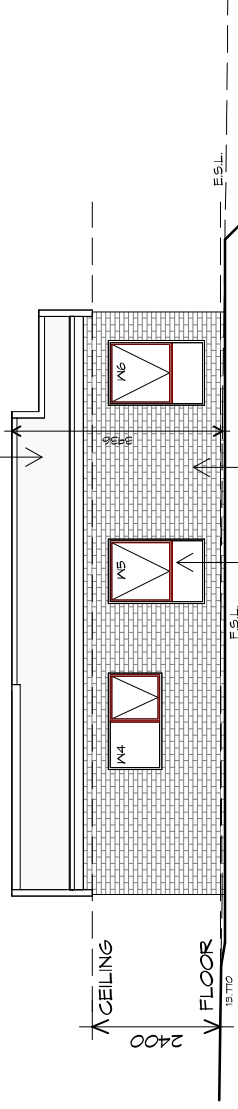
ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



U3 NORTHERN ELEVATION

1 : 100

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABC B HOUSING PROVISIONS PART 13.4

BRICKWORK.
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABC B HOUSING PROVISIONS PART 5

U3 WESTERN ELEVATION

1 : 100



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p(0)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

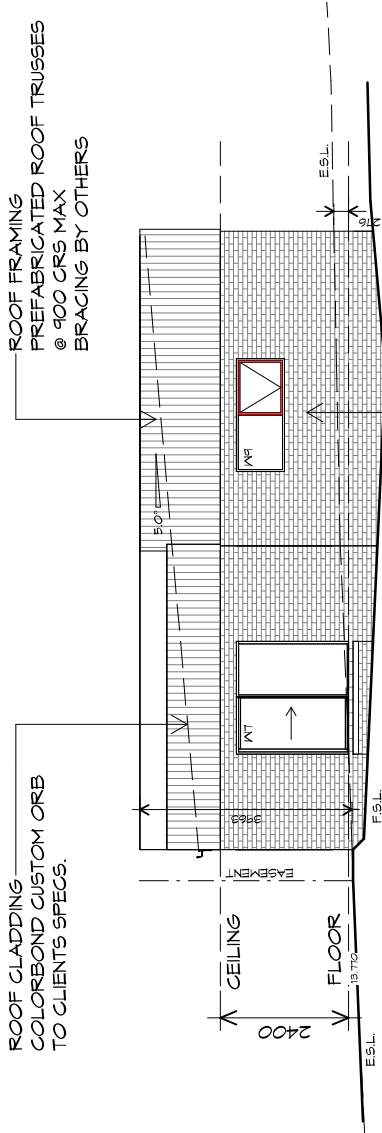
Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD
Drawing:
ELEVATIONS

Drafted by:
Author
Approved by:
Approver
Date:
20.05.2024
Scale:
1 : 100

Project/Drawing no:
PD23405 -B1-03
Revision:
05
Accredited building practitioner: Frank Geskus -No CC246A

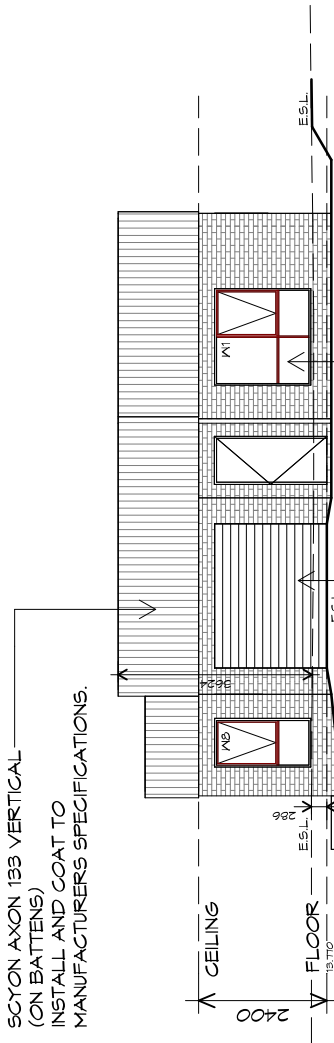




U3 SOUTHERN ELEVATION

1 : 100

SCYON AXON 133 VERTICAL (ON BATTENS) INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.



U3 EASTERN ELEVATION

1 : 100



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

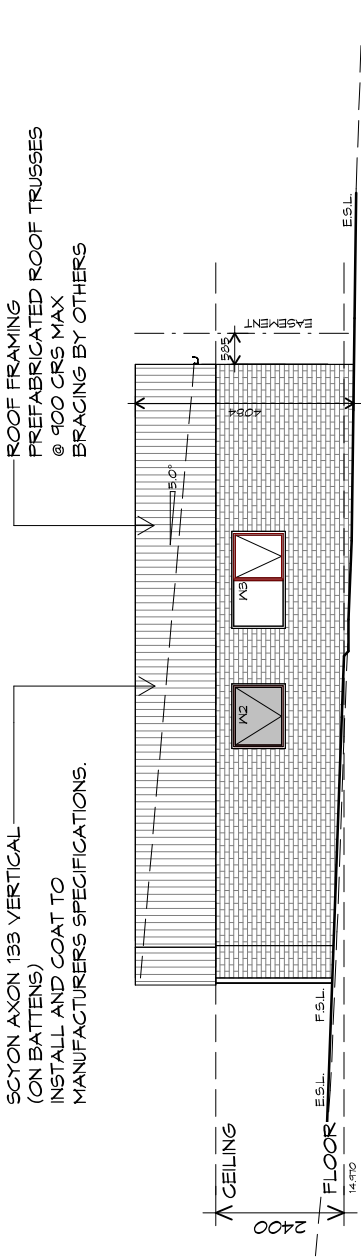
Client name:
GIC ESTATES PTY LTD

Drawing:
ELEVATIONS

Drafted by:
Author
 Approved by:
Approver
 Date: 20.05.2024 Scale: 1 : 100

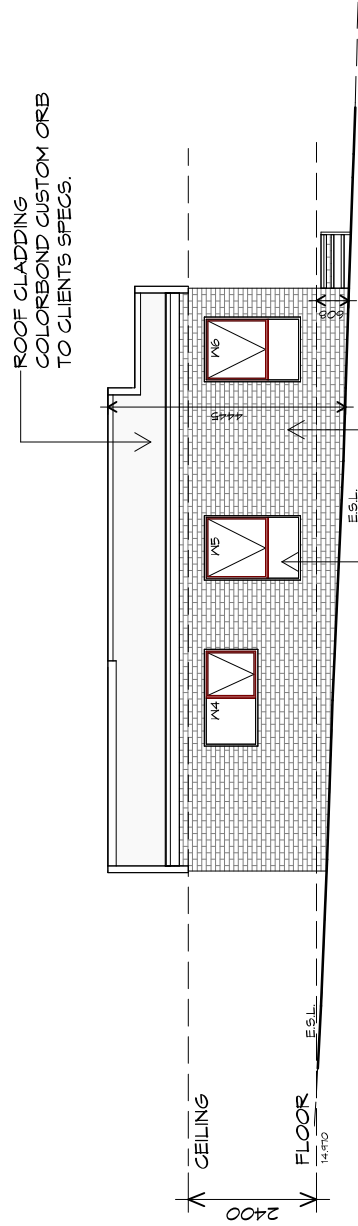
Project/Drawing no:
PD23405 -B1-04 Revision: 05
 Accredited building practitioner: Frank Geskus -No CC246A





U6 NORTHERN ELEVATION

1 : 100



U6 WESTERN ELEVATION

1 : 100



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD
Drawing:
ELEVATIONS

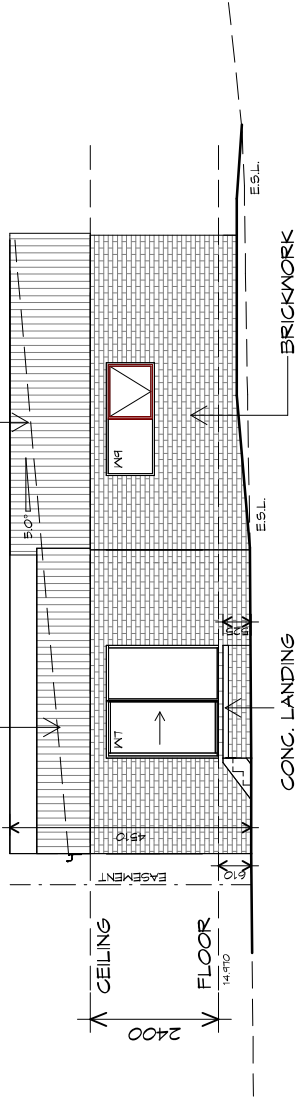
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Approved by:
Approver
Date:
20.05.2024
Scale:
1 : 100

Project/Drawing no:
PD23405 -B1-05
Revision:
05
Accredited building practitioner: Frank Geskus -No CC246A



ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

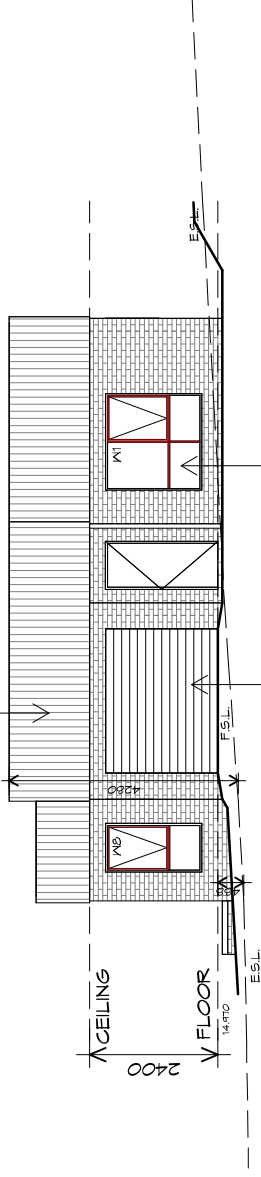


BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

U6 SOUTHERN ELEVATION

1 : 100

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ACBC HOUSING PROVISIONS PART 13.4

U6 EASTERN ELEVATION

1 : 100



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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -B1-06

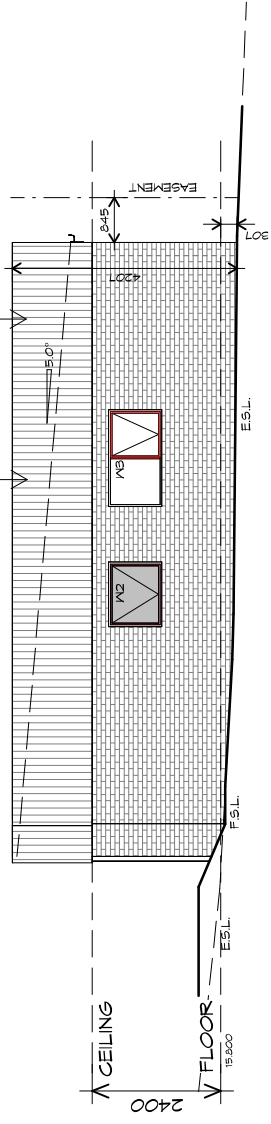
Revision:

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Accredited building practitioner: Frank Geskus -No CC246A



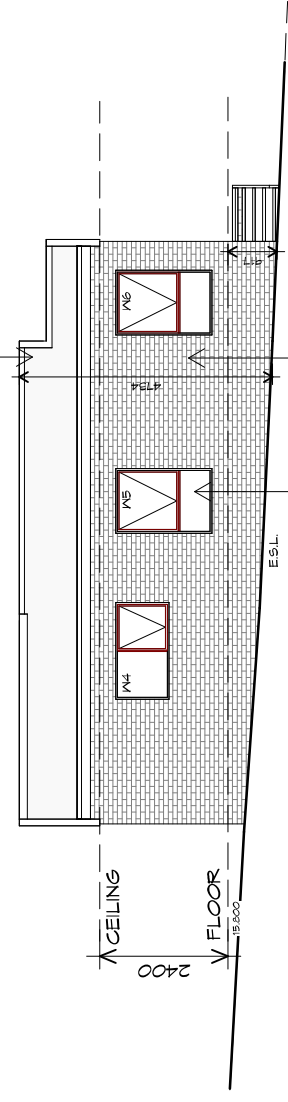
SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



UT NORTHERN ELEVATION

1 : 100

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



UT WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
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Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD
Drawing:
ELEVATIONS

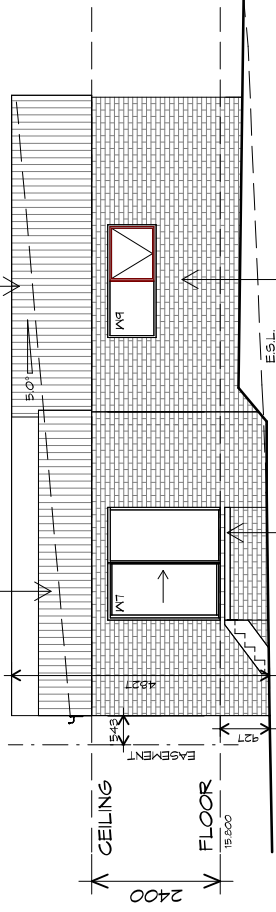
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Author
Approved by:
Approver
Date:
20.05.2024
Scale:
1 : 100

Project/Drawing no:
PD23405 -B1-07
Revision:
05
Accredited building practitioner: Frank Geskus -No CC246A



ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



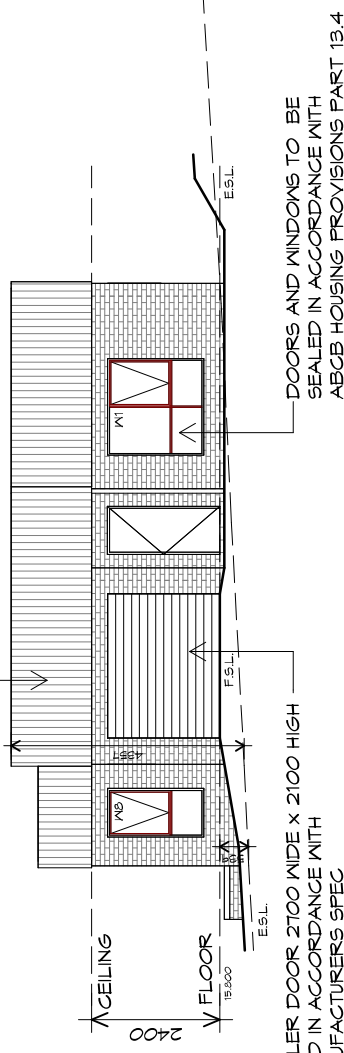
CONC. LANDING

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

U7 SOUTHERN ELEVATION

1 : 100

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ACBC HOUSING PROVISIONS PART 13.4

U7 EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesign.com.au primedesign.com.au

Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -B1-08

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A

ROOF PLUMBING NOTES:

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A FITCH:

- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

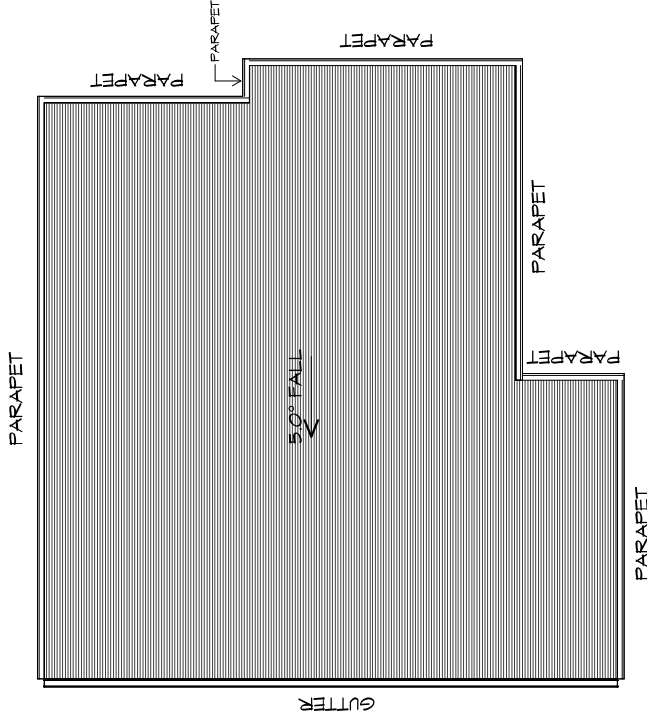
LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.I.P'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPING, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ROOF PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -B1-11

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE STOP

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

FLOOR PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

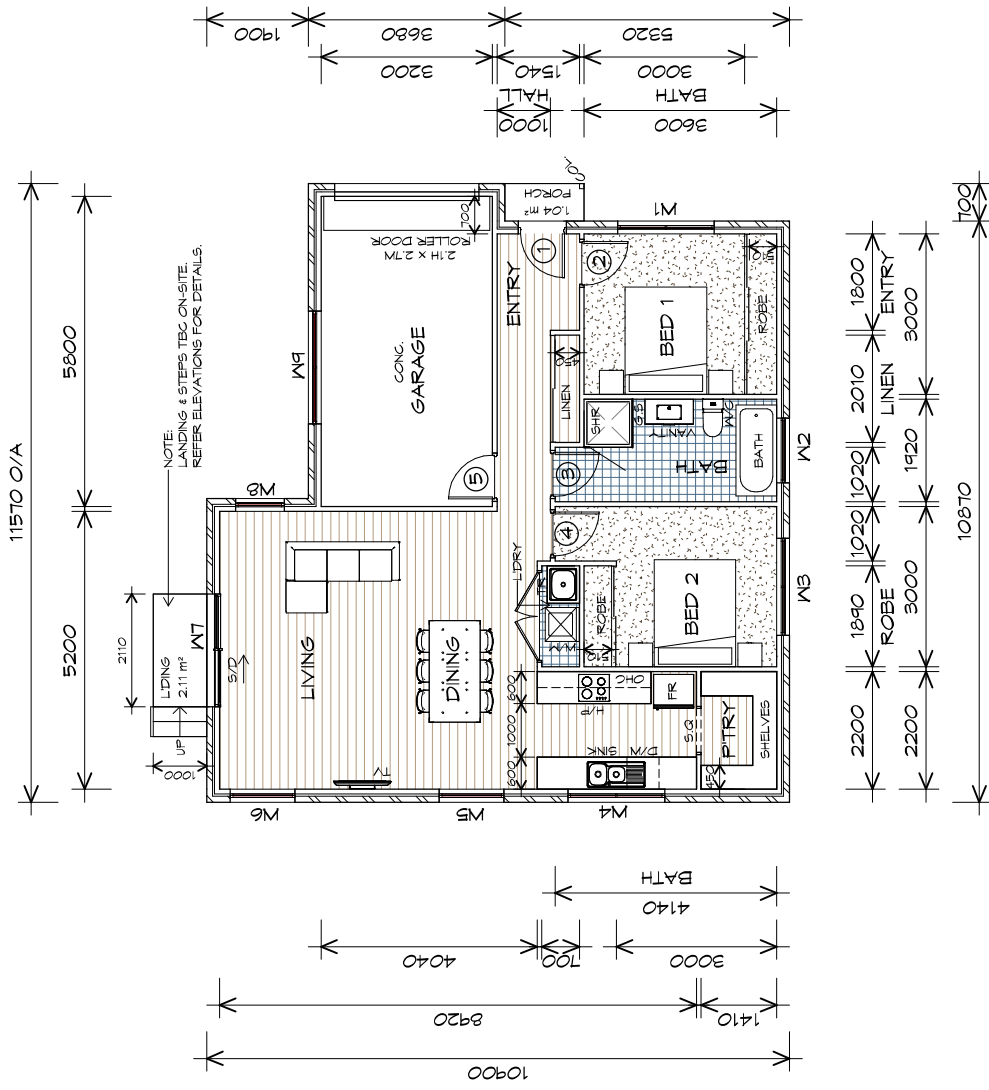
Project/Drawing no:

PD23405 -B2-01

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

FLOOR AREA	89.88	m ²	(9.67	SQUARES)
GARAGE AREA	21.37	m ²	(2.30	SQUARES)
TOTAL AREA	111.24		11.97	

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

TYPE B2 - UNIT 4-5, 8



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	Ø20	EXTERNAL SOLID DOOR	
2	Ø20	INTERNAL TIMBER DOOR	
3	Ø20	INTERNAL TIMBER DOOR	
4	Ø20	INTERNAL TIMBER DOOR	
5	Ø20	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1000	1210	AWNING WINDOW	OPAQUE
W3	1000	1810	AWNING WINDOW	
W4	1000	1810	AWNING WINDOW	
W5	1800	1210	AWNING WINDOW	
W6	1800	1210	AWNING WINDOW	
W7	2100	2110	SLIDING DOOR	
W8	1800	910	AWNING WINDOW	
W9	900	2110	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING COMPLETE**
WITH FLY SCREENS TO SUIT **TBC BAL RATING**.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD

Drafted by:
Author

Approved by:
Approver



Drawing:
DOOR AND WINDOW
SCHEDULES

Date:
20.05.2024

Scale:

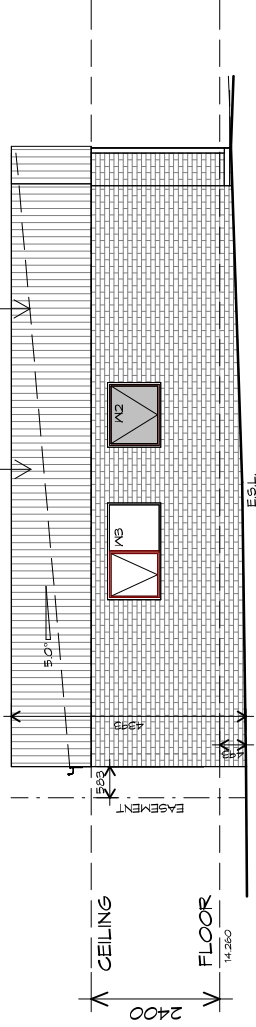
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PD23405 -B2-02

Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A

SCYON AXON 133 VERTICAL
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INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.

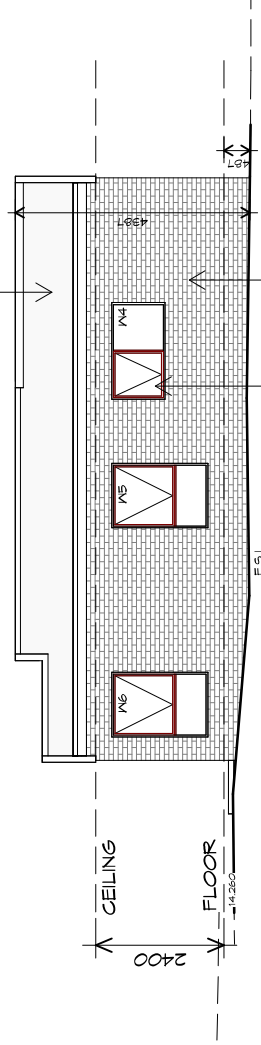
ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



U4 SOUTHERN ELEVATION

1 : 100

ROOF GLADDING
COLOREBOND CUSTOM ORB
TO CLIENTS SPECS.



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

U4 WESTERN ELEVATION

1 : 100



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p(0)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -B2-03

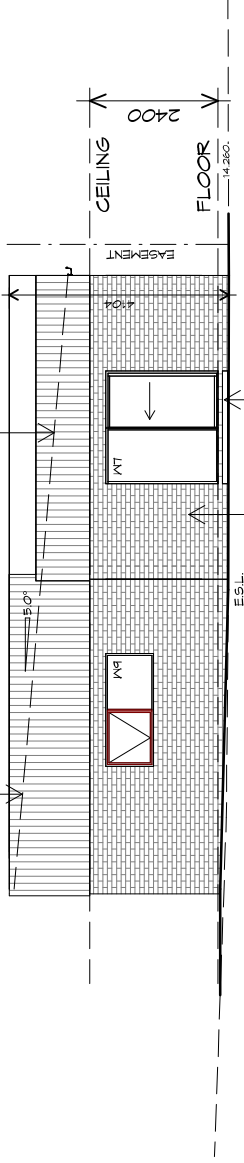
Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A

ROOF CLADDING -
COLORBOND CUSTOM ORB
TO CLIENT'S SPECS.

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

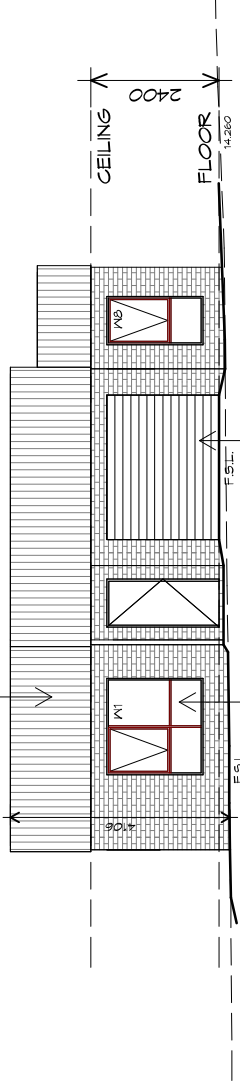


U4 NORTHERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS,
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ACBC HOUSING PROVISIONS PART 13.4

ROLLER DOOR 2700 WIDE X 2100 HIGH
FIXED IN ACCORDANCE WITH
MANUFACTURERS SPEC

U4 EASTERN ELEVATION

1 : 100



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Project:

**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:

GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

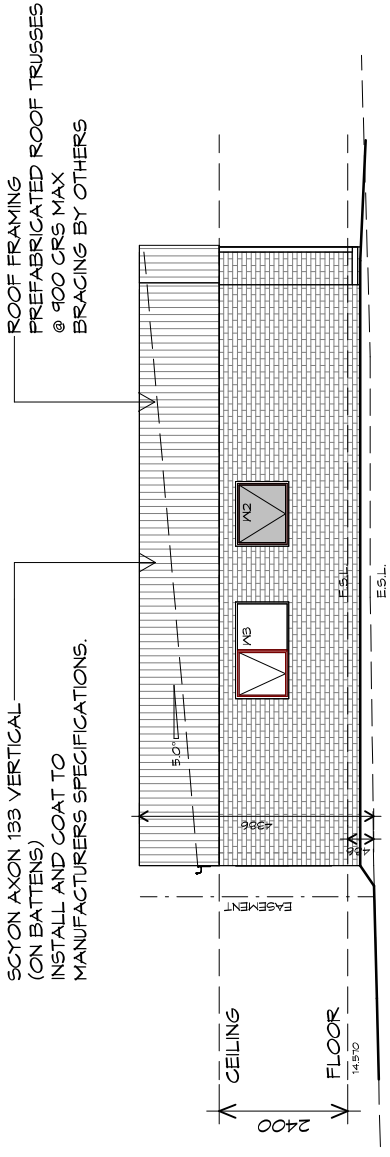
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Revision:

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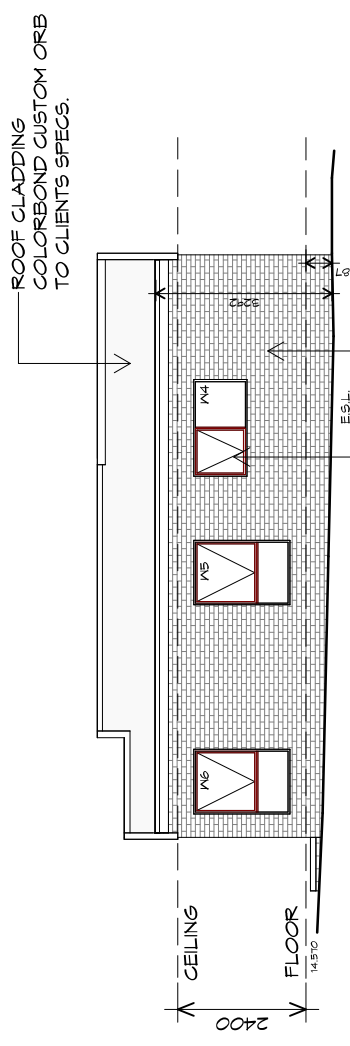
Accredited building practitioner: Frank Geskus -No CC246A



SECTION AXON 133 VERTICAL (ON BATTENS) INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

U5 SOUTHERN ELEVATION

1 : 100



DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

U5 WESTERN ELEVATION

1 : 100



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
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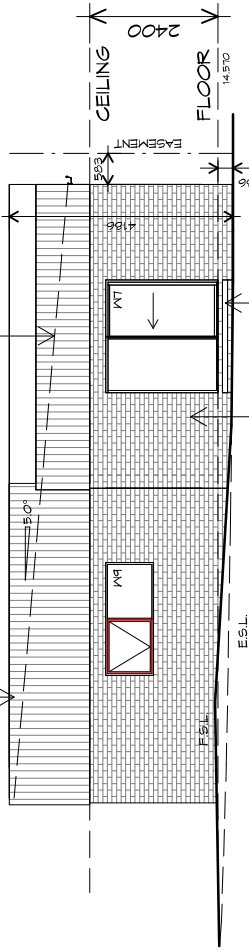
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GIC ESTATES PTY LTD
 Drawing:
ELEVATIONS

Drafted by:
Author
 Approved by:
Approver
 Date:
20.05.2024 Scale:
1 : 100

Project/Drawing no:
PD23405 -B2-05 Revision:
05
 Accredited building practitioner: Frank Geskus -No CC246A



ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

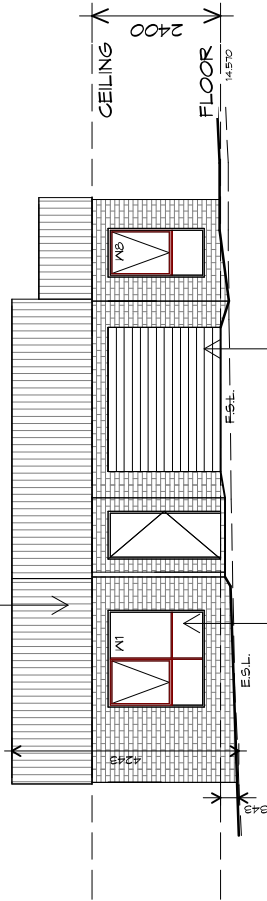


U5 NORTHERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS,
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REFER ENGINEER FOR
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ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ACBC HOUSING PROVISIONS PART 13.4

ROLLER DOOR 2100 WIDE X 2100 HIGH
FIXED IN ACCORDANCE WITH
MANUFACTURERS SPEC

U5 EASTERN ELEVATION

1 : 100



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

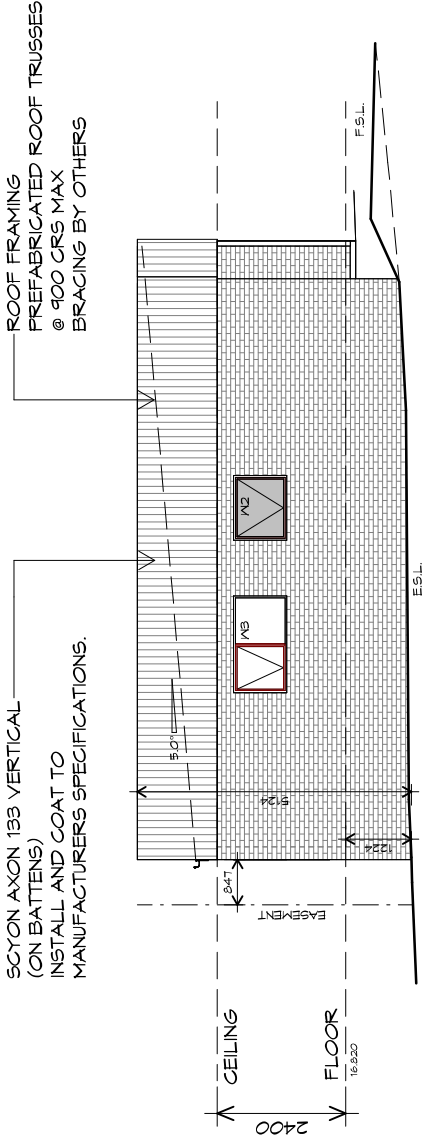
Client name:
GIC ESTATES PTY LTD

Drawing:
ELEVATIONS

Drafted by:
Author
Approved by:
Approver
Date:
20.05.2024
Scale:
1 : 100

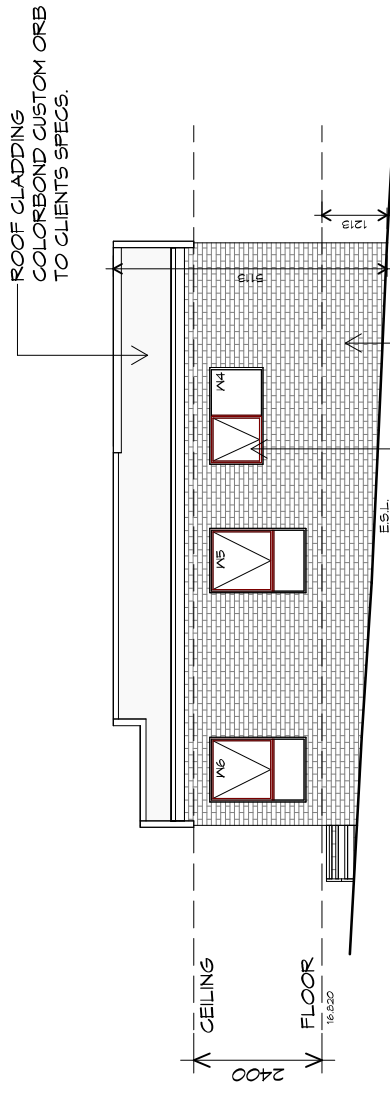
Project/Drawing no:
PD23405 -B2-06
Revision:
05
Accredited building practitioner: Frank Geskus -No CC246A





U8 SOUTHERN ELEVATION

1 : 100



U8 WESTERN ELEVATION

1 : 100



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 p(0)+ 03 6228 4575
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Project:
 PROPOSED UNIT DEVELOPMENT
 38 JETTY ROAD,
 OLD BEACH

Client name:
 GIC ESTATES PTY LTD

Drawing:
 ELEVATIONS

Drafted by:
 Author

Approved by:
 Approver

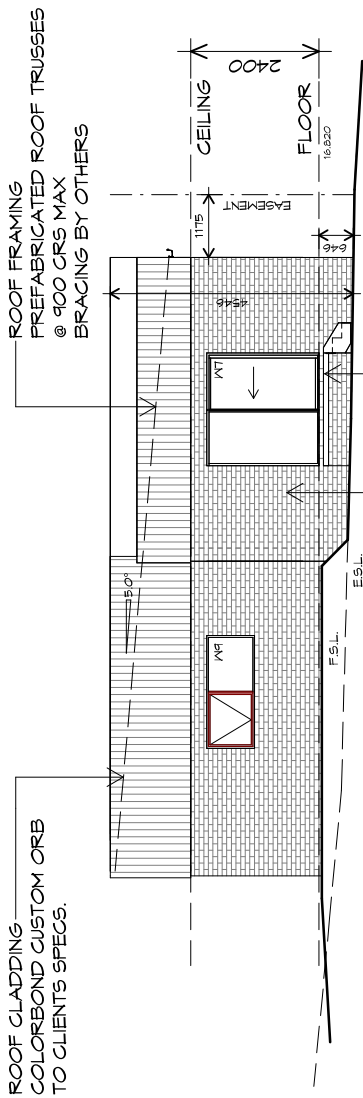
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Project/Drawing no:
 PD23405 -B2-07

Revision:
 05

Accredited building practitioner: Frank Geskus -No CC246A



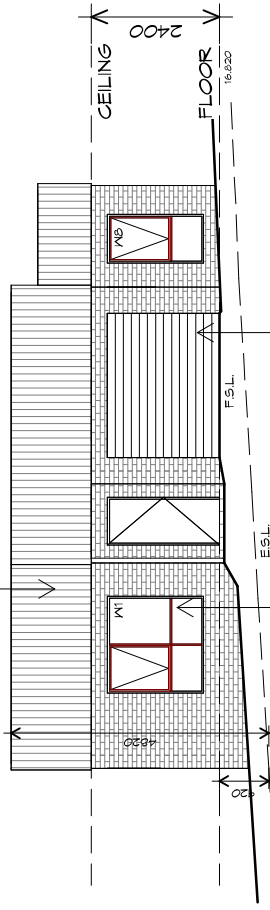


U8 NORTHERN ELEVATION

1 : 100

CONC. LANDING
BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS,
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ACBC HOUSING PROVISIONS PART 13.4

ROLLER DOOR 2100 WIDE x 2100 HIGH
FIXED IN ACCORDANCE WITH
MANUFACTURERS SPEC

U8 EASTERN ELEVATION

1 : 100



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info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD
Drawing:
ELEVATIONS

Drafted by:
Author
Approved by:
Approver
Date:
20.05.2024 Scale:
1 : 100

Project/Drawing no:
PD23405 -B2-08 Revision:
05
Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLUMBING NOTES:

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A FITCH:

- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

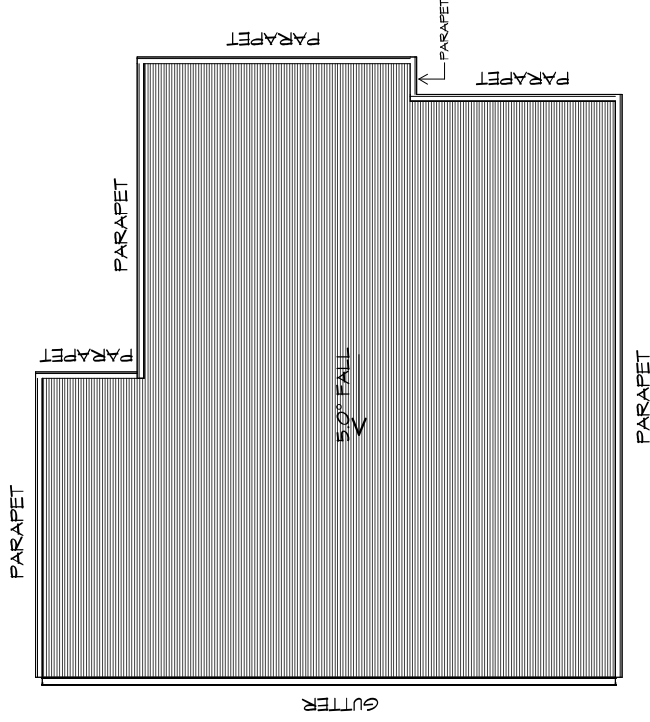
LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.I.P'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPING, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ROOF PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -B2-09

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- GSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

FLOOR PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

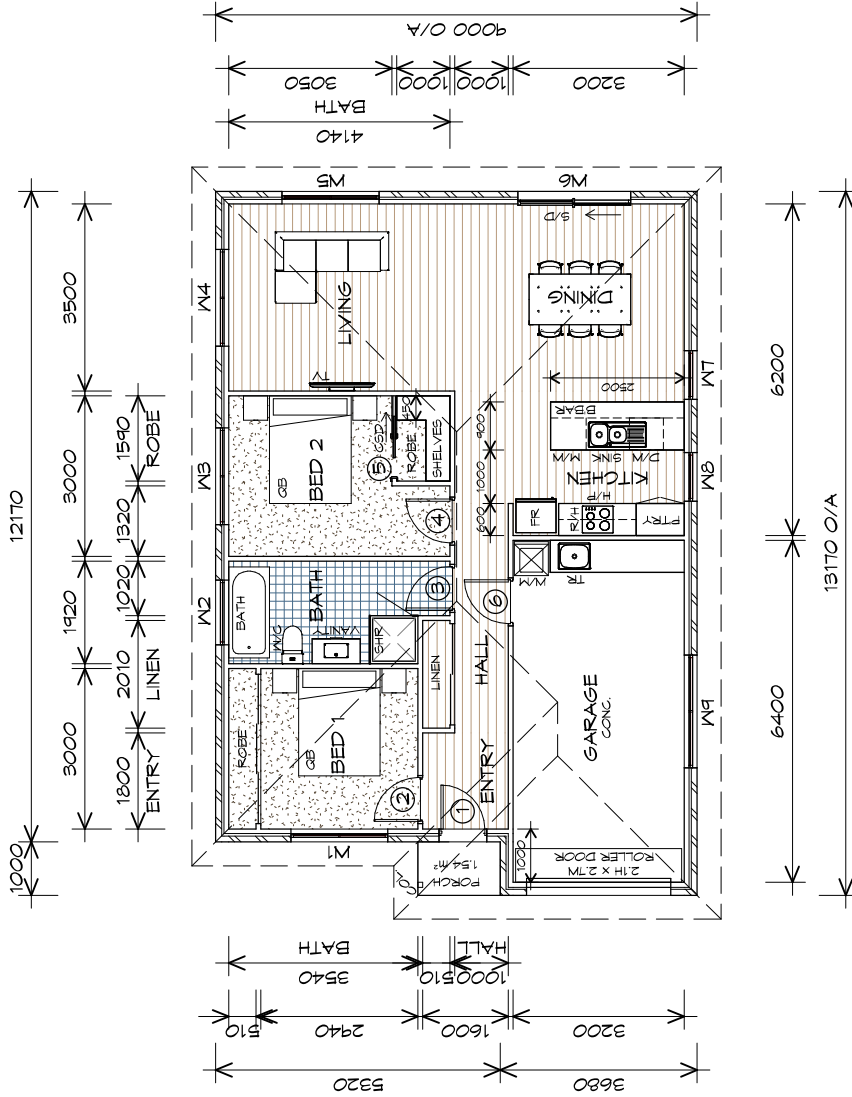
Project/Drawing no:

PD23405 -C1-01

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

FLOOR AREA 84.72 m² (9.66 SQUARES)

GARAGE AREA 23.52 m² (2.59 SQUARES)

TOTAL AREA 118.23 12.19

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

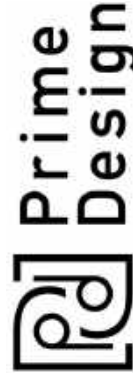
TYPE C1 - UNIT 10



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	770	CAVITY SLIDING DOOR	
6	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	ANNING WINDOW	
W2	1000	1210	ANNING WINDOW	OPAQUE
W3	1000	1810	ANNING WINDOW	
W4	1000	1810	ANNING WINDOW	
W5	1800	1810	ANNING WINDOW	
W6	2100	2110	SLIDING DOOR	
W7	1800	910	ANNING WINDOW	
W8	1800	910	ANNING WINDOW	
W9	900	2110	ANNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING COMPLETE**
WITH FLY SCREENS TO SUIT **BAL-TBC** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



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info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD

Drafted by:
Author



Approved by:
Approver

Drawing:
DOOR AND WINDOW
SCHEDULES

Date: _____ Scale: _____

20.05.2024

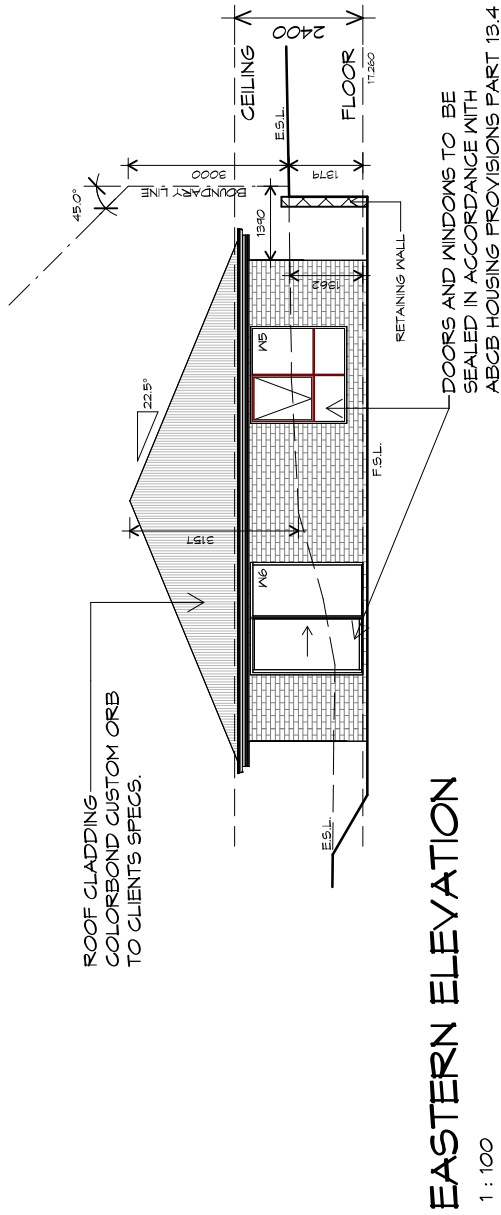
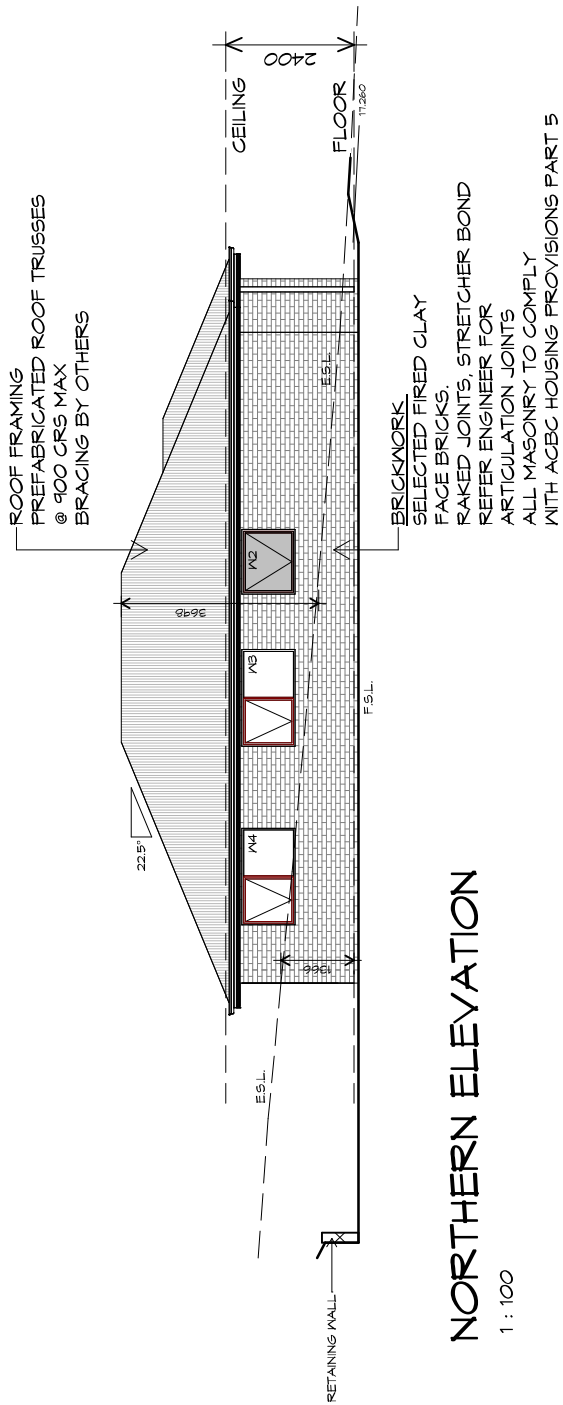
Project/Drawing no:
PD23405 -C1-02

Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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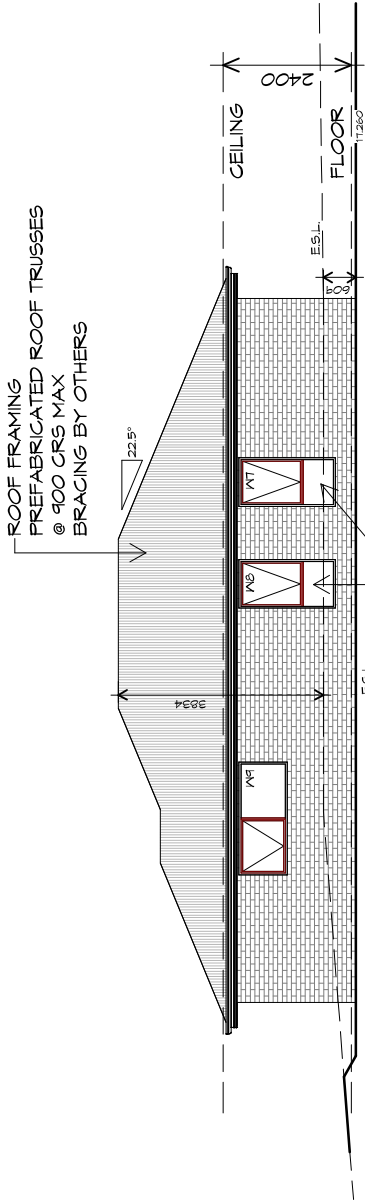
Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD
Drawing:
ELEVATIONS

Drafted by:
Author
Approved by:
Approver
Date:
20.05.2024 Scale:
1 : 100

Project/Drawing no:
PD23405 -C1-03 Revision:
05
Accredited building practitioner: Frank Geskus -No CC246A



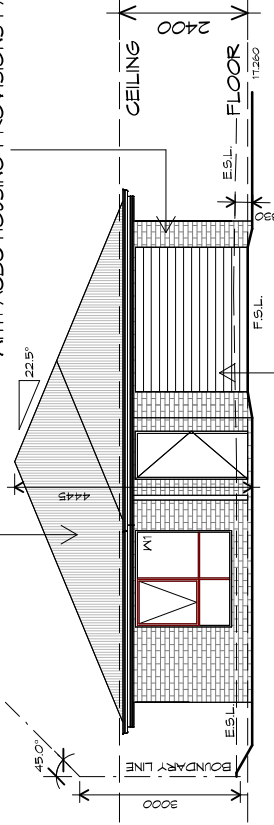


SOUTHERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS,
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



WESTERN ELEVATION

1 : 100



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Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD
Drawing:
ELEVATIONS

Drafted by:
Author
Approved by:
Approver
Date:
20.05.2024
Scale:
1 : 100

Project/Drawing no:
PD23405 -C1-04
Revision:
05
Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLUMBING NOTES:

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:1500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS: 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

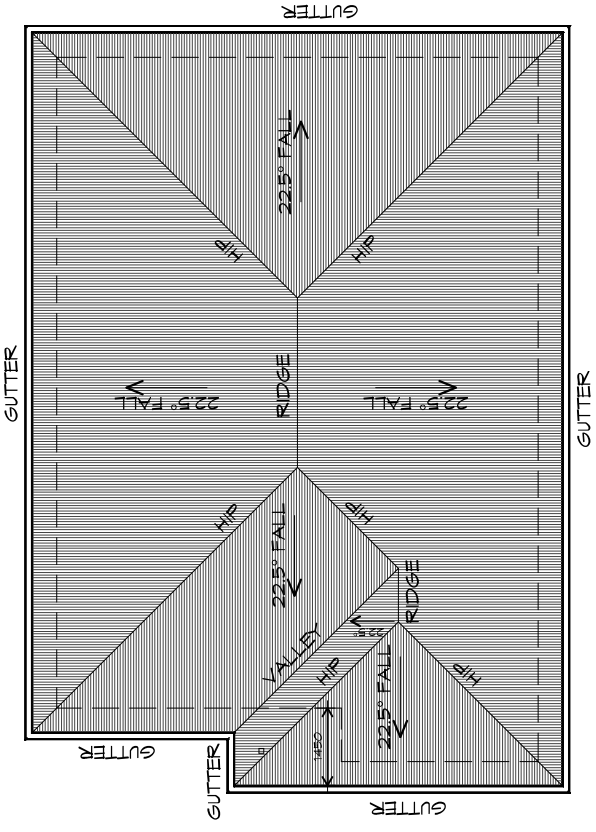
DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D/PS REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS. SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2c FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR, NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



ROOF PLAN

1 : 100



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info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD

Drawing:
ROOF PLAN

Drafted by:
Author

Approved by:
Approver

Date: **20.05.2024** Scale: **1 : 100**

Project/Drawing no: **PD23405 -C1-05** Revision: **05**

Accredited building practitioner: Frank Geskus -No CC246A

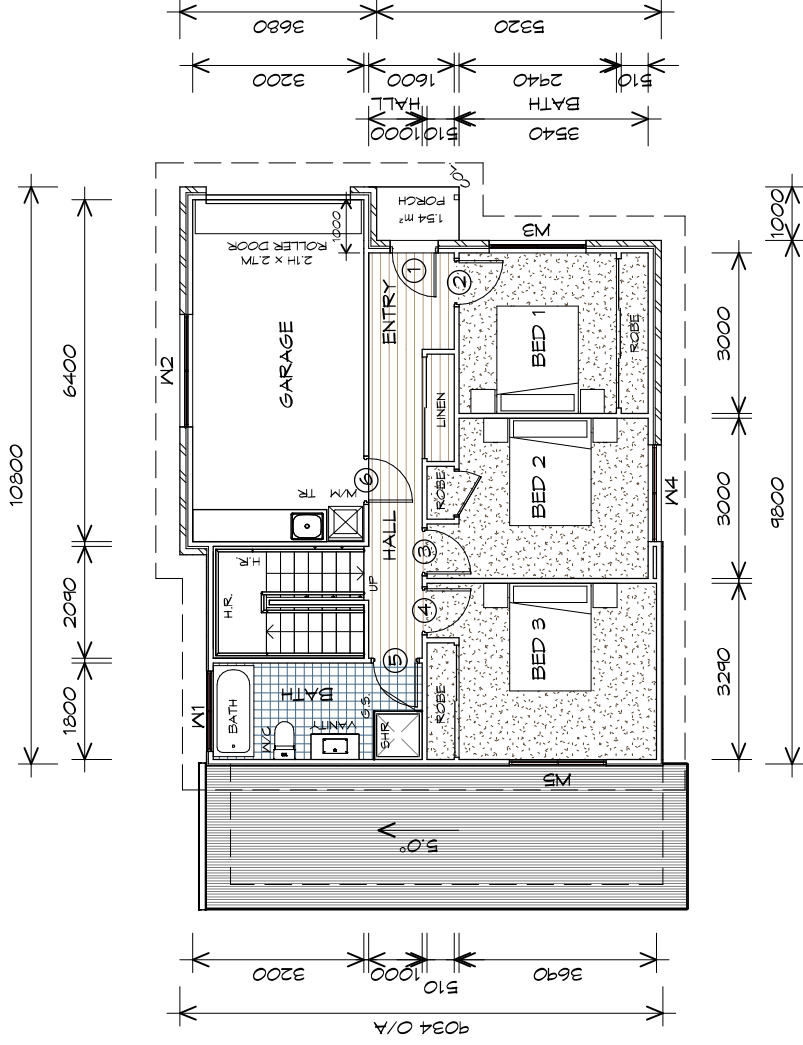


LEGEND

- CS/D CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



FLOOR PLAN

1 : 100

FLOOR AREA	66.91	m2 (7.21 SQUARES)
GARAGE AREA	23.62	m2 (2.54 SQUARES)
LOWER FLOOR AREA	52.91	m2 (5.70 SQUARES)
TOTAL AREA	143.50	15.45

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

FLOOR PLAN

Drafted by:

D.D.H.

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -C2-01

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



TYPE C2 - UNIT 21



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	900	1510	ANNING WINDOW	OF AGUE
W2	900	2110	ANNING WINDOW	
W3	1800	1810	ANNING WINDOW	
W4	1000	1810	ANNING WINDOW	
W5	1200	1810	ANNING WINDOW	

LOWER FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W6	2100	2110	SLIDING DOOR	
W7	1800	1810	ANNING WINDOW	
W8	1800	910	ANNING WINDOW	
W9	1800	910	ANNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-TBC** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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 info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

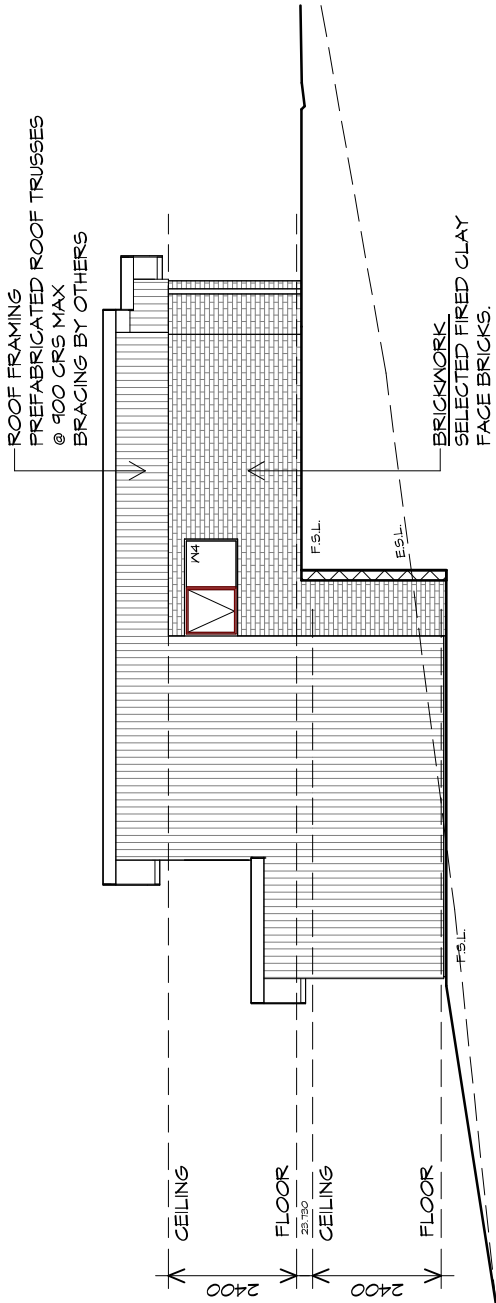
Client name:
GIC ESTATES PTY LTD

Drawing:
DOOR AND WINDOW
SCHEDULES

Drafted by:
D.D.H.
 Approved by:
Approver
 Date:
20.05.2024
 Scale:

Project/Drawing no:
PD23405 -C2-03
 Revision:
05
 Accredited building practitioner: Frank Geskus -No CC246A

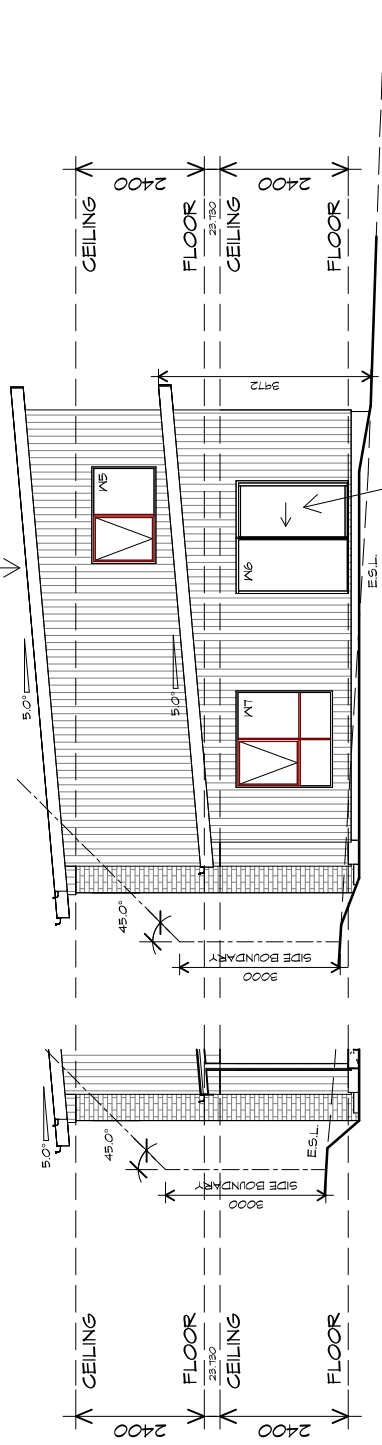




SOUTHERN ELEVATION

1 : 100

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



WESTERN ELEVATION

1 : 100



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info@primedesign.com.au primedesign.com.au

Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD

Drawing:
ELEVATIONS

Drafted by:
D.D.H.

Approved by:
Approver

Date:
20.05.2024

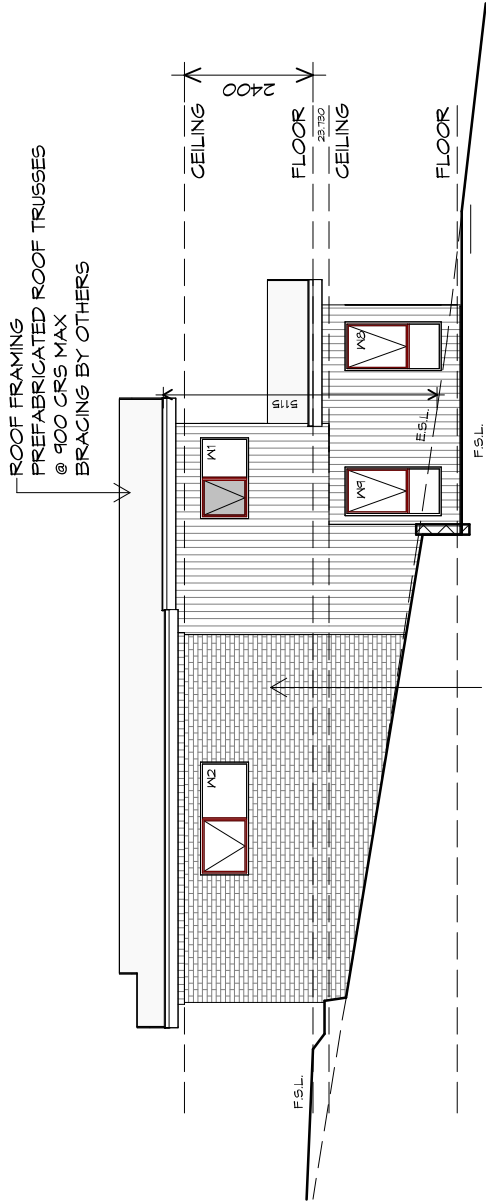
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Project/Drawing no:
PD23405 -C2-04

Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A

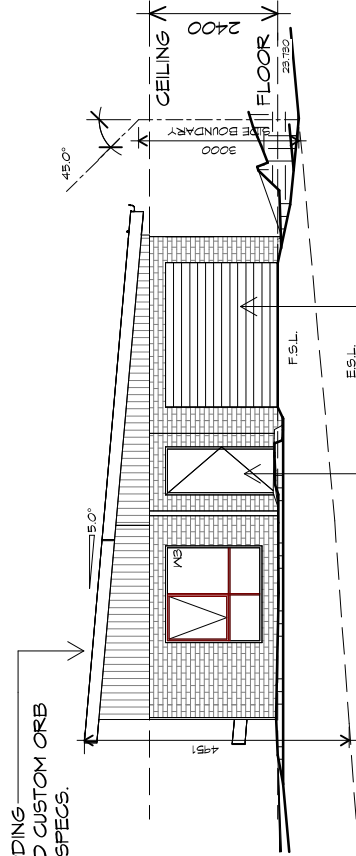




NORTHERN ELEVATION

1 : 100

ROOF CLADDING COLORBOND CUSTOM ORB TO CLIENTS SPECS.



DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

ROLLER DOOR 2100 WIDE X 2100 HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC

EASTERN ELEVATION

1 : 100



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 Shop 9, 105-111 Main Road, Moonah Hobart 7009
 p(0)+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au

Project: **PROPOSED UNIT DEVELOPMENT**
38 JETTY ROAD,
OLD BEACH

Client name: **GIC ESTATES PTY LTD**
 Drawing: **ELEVATIONS**

Drafted by: **D.D.H.** Approved by: **Approver**
 Date: **20.05.2024** Scale: **1 : 100**

Project/Drawing no: **PD23405 -C2-05** Revision: **05**
 Accredited building practitioner: **Frank Geskus -No CC246A**



ROOF PLUMBING NOTES:

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:1500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

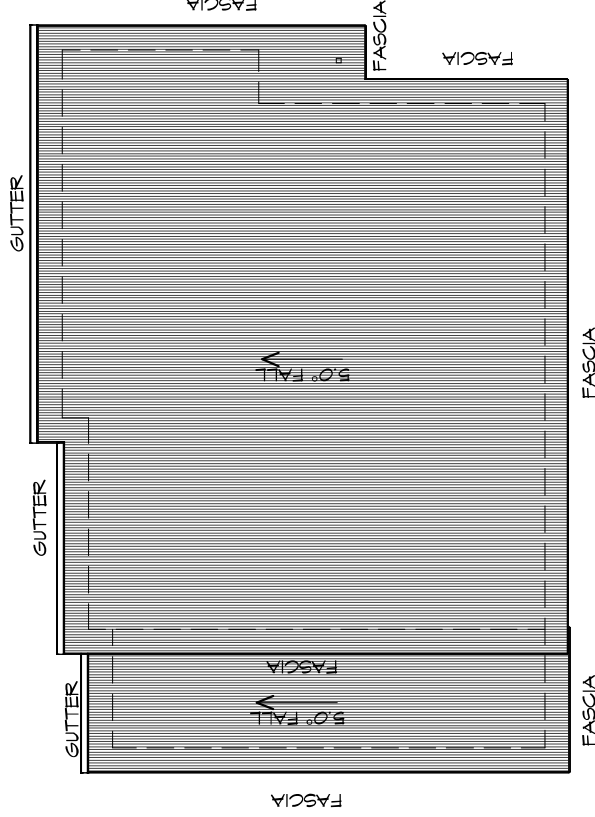
A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS: 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPipe POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2c FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR, NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



ROOF PLAN

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD

Drawing:
ROOF PLAN

Drafted by:
D.D.H.

Approved by:
Approver

Date:
20.05.2024

Scale:
1 : 100

Project/Drawing no:
PD23405 -C2-06

Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- CS/D CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- GS GLASS SCREEN
- HWC HOT WATER CYLINDER
- FRM FIRE RATED WALL

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD

Drawing:
FLOOR PLAN

Drafted by:
Author

Approved by:
Approver

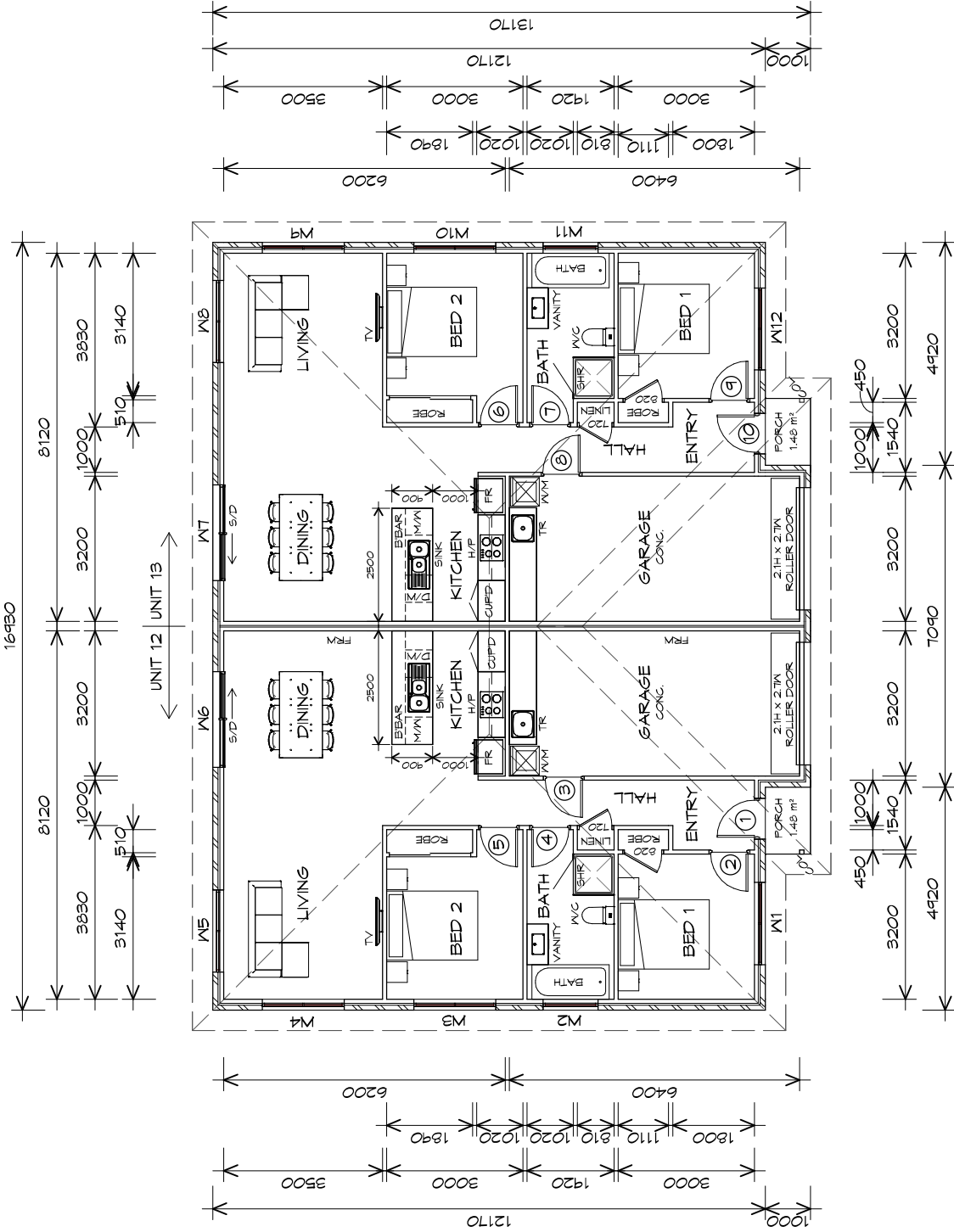
Date:
 20.05.2024

Scale:
 1 : 100

Project/Drawing no:
PD23405 -D-01

Revision:
 05

Accredited building practitioner: Frank Geskuis -No CC246A



U12 FLOOR AREA	83.97	m ²	(9.04 SQUARES)
U12 GARAGE AREA	22.61	m ²	(2.43 SQUARES)
U13 FLOOR AREA	83.97	m ²	(9.04 SQUARES)
U13 GARAGE AREA	22.61	m ²	(2.43 SQUARES)
TOTAL AREA	213.17		22.95

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

FLOOR PLAN

1 : 100

TYPE D - UNIT 12 & 13



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	
10	820	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	ANNING WINDOW	
W2	1000	1210	ANNING WINDOW	OPAQUE
W3	1000	1810	ANNING WINDOW	
W4	1800	1810	ANNING WINDOW	
W5	1800	1810	ANNING WINDOW	
W6	2100	2110	SLIDING DOOR	
W7	2100	2110	SLIDING DOOR	
W8	1800	1810	ANNING WINDOW	
W9	1800	1810	ANNING WINDOW	
W10	1000	1810	ANNING WINDOW	
W11	1000	1210	ANNING WINDOW	OPAQUE
W12	1800	1810	ANNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
 WITH FLY SCREENS TO SUIT ??? **BAL** RATING.
 ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
 PRIOR TO ORDERING



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 Shop 9, 105-111 Main Road, Moonah Hobart 7009
 p(0)+ 03 6228 4575
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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

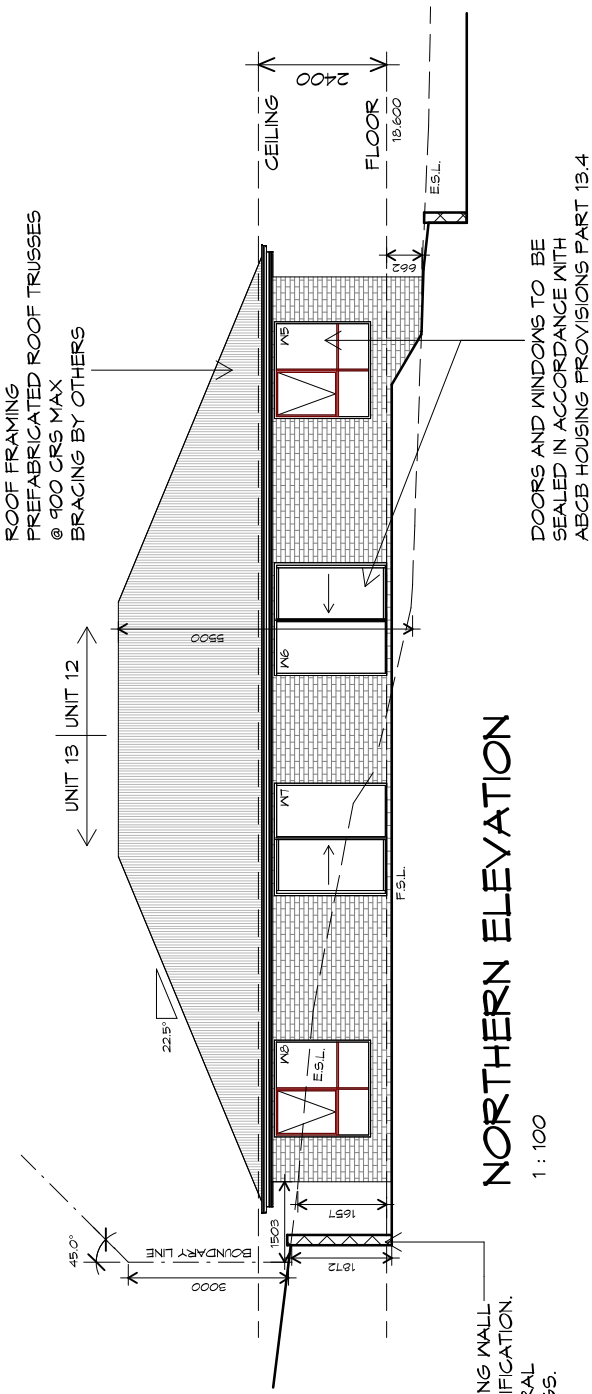
Client name:
GIC ESTATES PTY LTD

Drawing:
DOOR AND WINDOW
SCHEDULES

Drafted by:
Author
 Approved by:
Approver
 Date: 20.05.2024
 Scale:

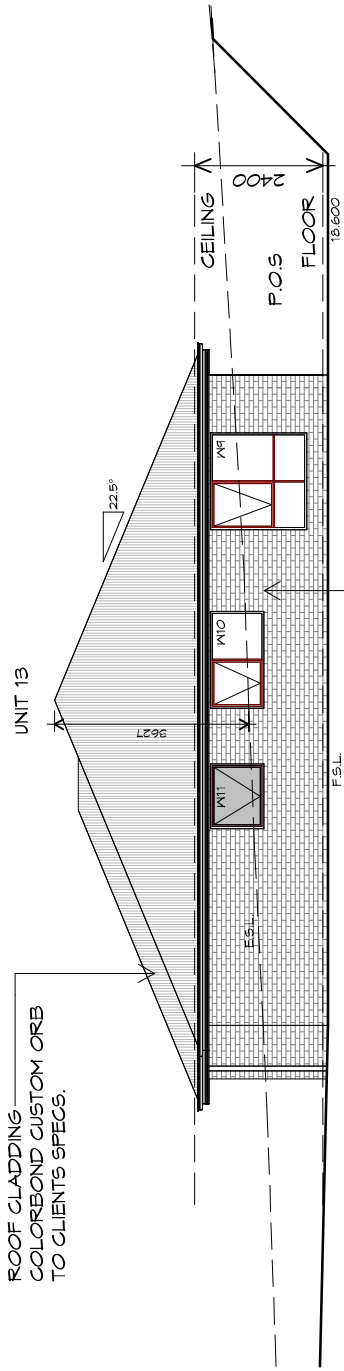
Project/Drawing no:
PD23405 -D-02
 Revision:
05
 Accredited building practitioner: Frank Geskus -No CC246A





NORTHERN ELEVATION
1 : 100

ENGINEERED RETAINING WALL TO ENGINEERS SPECIFICATION. REFER TO STRUCTURAL ENGINEERS DRAWINGS.



EASTERN ELEVATION
1 : 100

BRICKWORK
SELECTED FIRED CLAY FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
ARTICULATION JOINTS
ALL MASONRY TO COMPLY WITH ACBC HOUSING PROVISIONS PART 5



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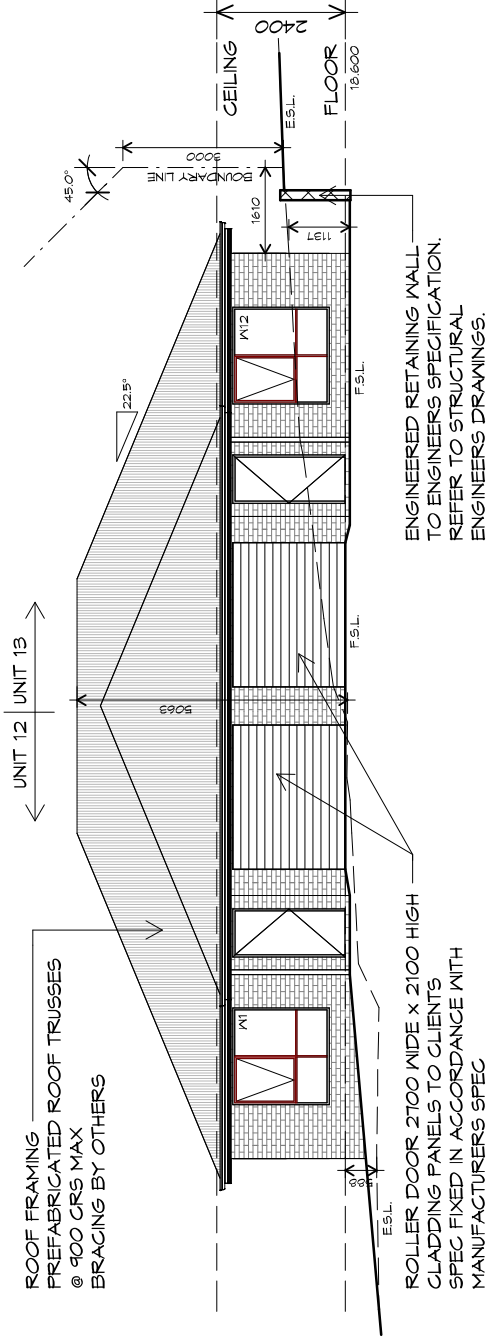
Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD
Drawing:
ELEVATIONS

Drafted by:
Author
Approved by:
Approver
Date:
20.05.2024 Scale:
1 : 100

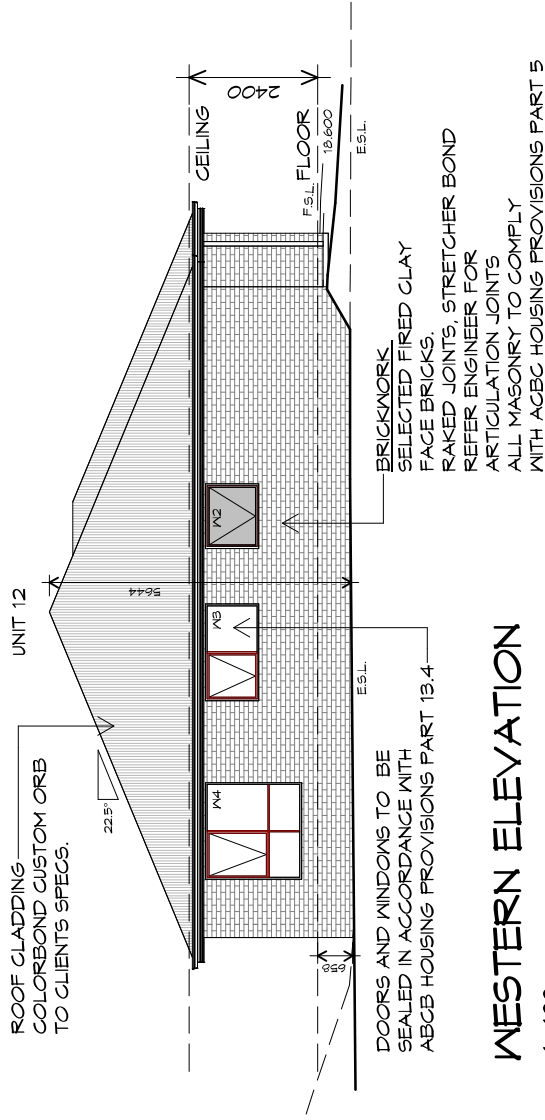
Project/Drawing no:
PD23405 -D-03 Revision:
05
Accredited building practitioner: Frank Geskus -No CC246A





SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

ENGINEERED RETAINING WALL TO ENGINEERS SPECIFICATION. REFER TO STRUCTURAL ENGINEERS DRAWINGS.

BRICKWORK SELECTED FIRED CLAY FACE BRICKS. RAKED JOINTS. STRETCHER BOND REFER ENGINEER FOR ARTICULATION JOINTS ALL MASONRY TO COMPLY WITH ACBC HOUSING PROVISIONS PART 5

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ACBC HOUSING PROVISIONS PART 13.4



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Project: **PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name: **GIC ESTATES PTY LTD**

Drawing: **ELEVATIONS**

Drafted by: **Author**
Approved by: **Approver**
Date: **20.05.2024**
Scale: **1 : 100**

Project/Drawing no: **PD23405 -D-04**
Revision: **05**
Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLUMBING NOTES:

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS, 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P.S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.

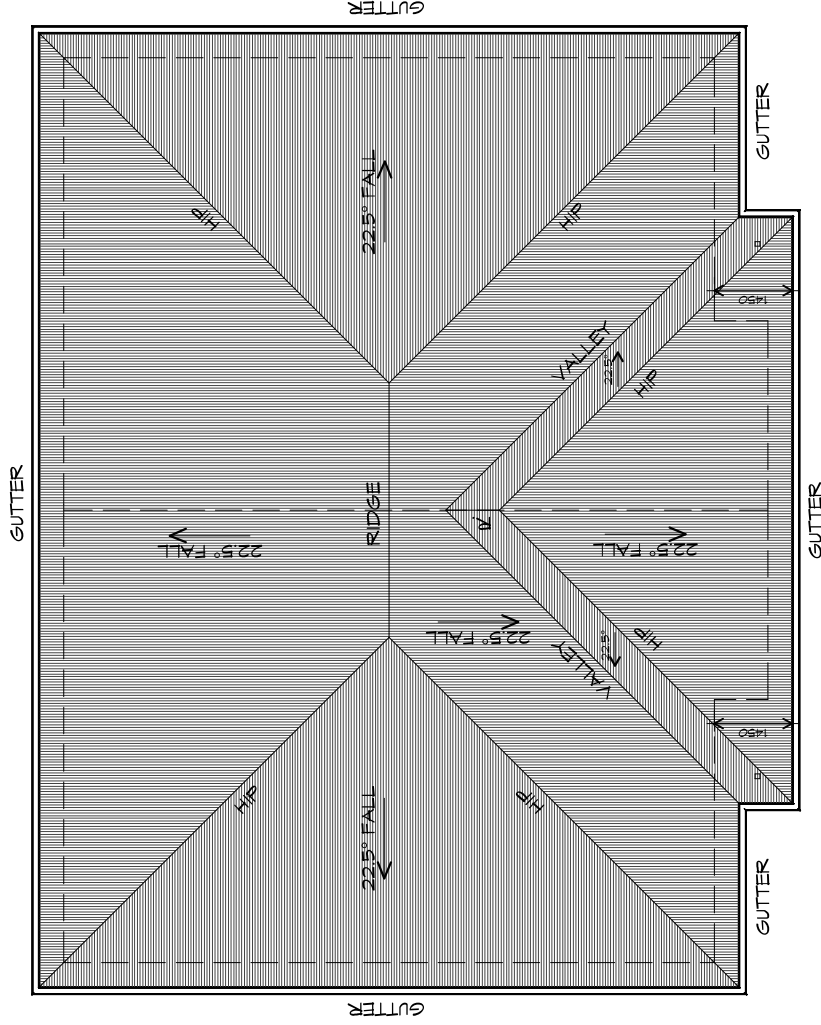
SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5-7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5-7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD

Drawing:
ROOF PLAN

Drafted by:
Author

Approved by:
Approver

Date: 20.05.2024

Scale: 1 : 100

Project/Drawing no: PD23405 -D-05

Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

GROUND FLOOR PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

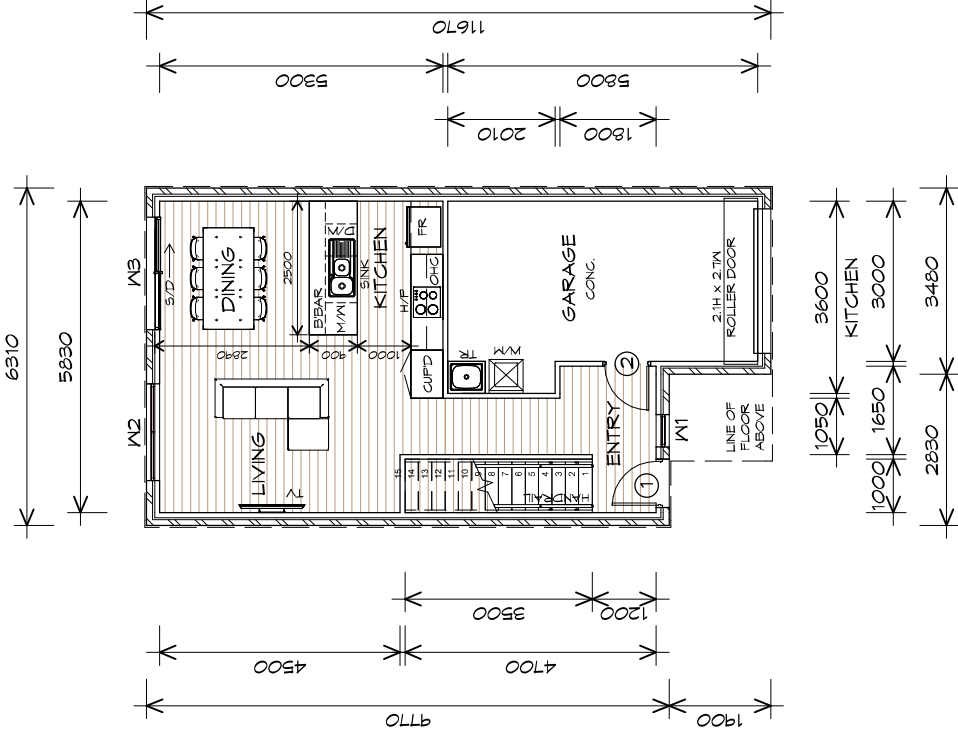
Project/Drawing no:

PD23405 -E-01

Revision:

05

Accredited building practitioner: Frank Geskuis -No CC246A



GROUND FLOOR PLAN

1 : 100

STAIRS

STAIR	NO RISERS	RISER HT	TREAD DEPTH
	15	181	250

NON SLIP TO COMPLY NCC 2022

GROUND FLOOR AREA	46.42	m ²	(5.00	SQUARES)
FIRST FLOOR AREA	72.51	m ²	(7.81	SQUARES)
GARAGE AREA	20.53	m ²	(2.21	SQUARES)
TOTAL AREA	139.46		15.01	

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



TYPE E - UNIT 14-19

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD

Drawing:
FIRST FLOOR PLAN

Drafted by:
Author

Approved by:
Approver

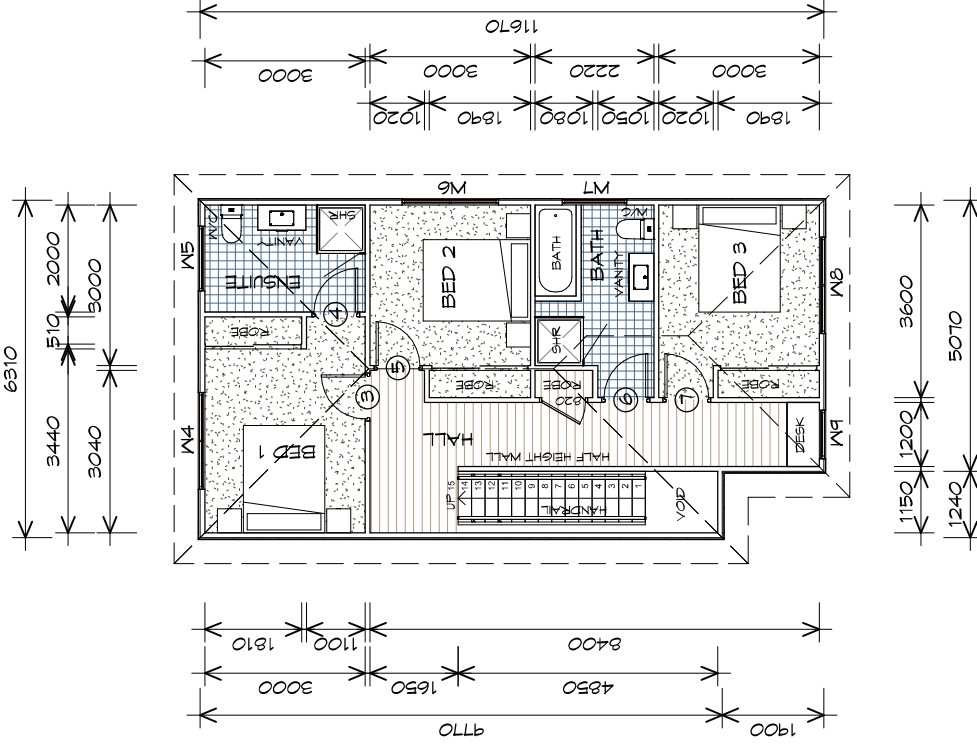
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20.05.2024

Scale:
1 : 100

Project/Drawing no:
PD23405 -E-02

Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A



FIRST FLOOR PLAN

1 : 100

STAIRS	No RISERS	RISER HT	TREAD DEPTH
	15	181	250

NON SLIP TO COMPLY NCC 2022

GROUND FLOOR AREA	46.42	m ²	(5.00	SQUARES)
FIRST FLOOR AREA	72.51	m ²	(7.81	SQUARES)
GARAGE AREA	20.53	m ²	(2.21	SQUARES)
TOTAL AREA	139.46		15.01	

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



TYPE E - UNIT 14-19



GROUND FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	

FIRST FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	

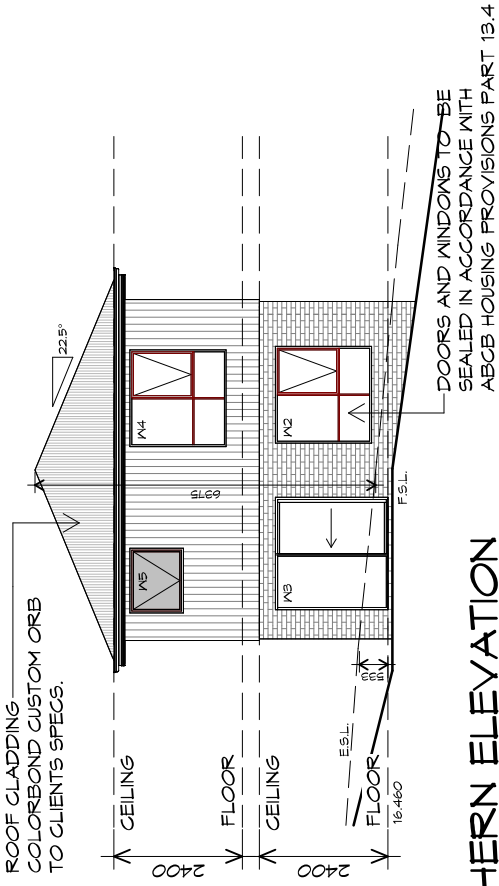
GROUND FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	ANNING WINDOW	
W2	1800	1810	ANNING WINDOW	
W3	2100	2110	SLIDING DOOR	

FIRST FLOOR WINDOW SCHEDULE

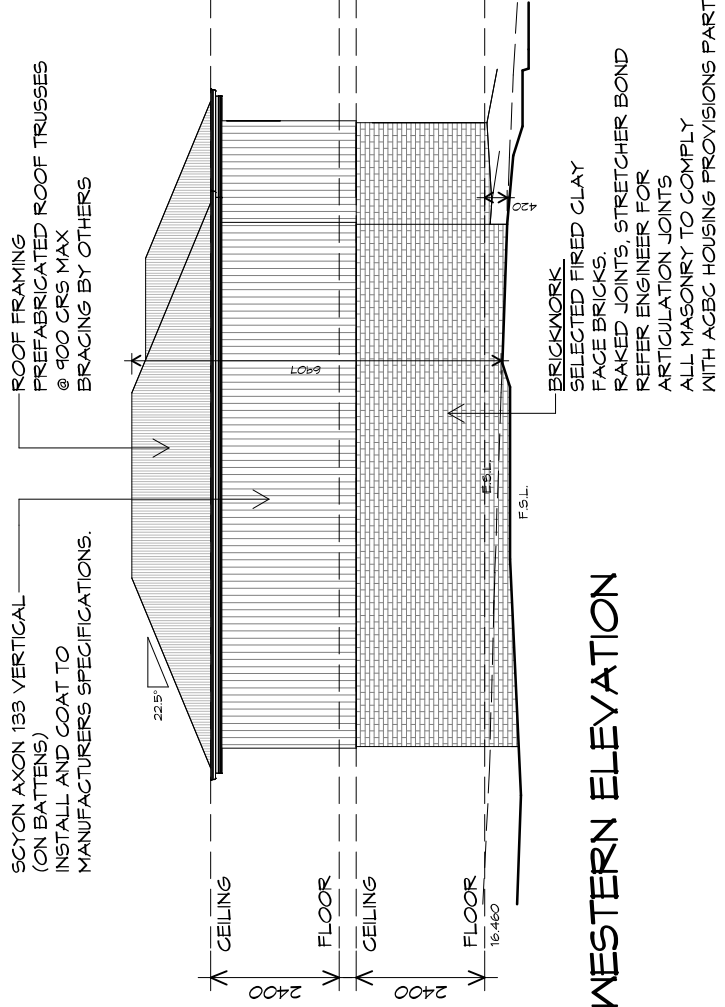
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W4	1800	1810	ANNING WINDOW	
W5	1000	1210	ANNING WINDOW	OPAQUE
W6	1200	1810	ANNING WINDOW	
W7	1000	1210	ANNING WINDOW	OPAQUE
W8	1000	1810	ANNING WINDOW	
W9	1000	910	ANNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING COMPLETE**
WITH FLY SCREENS TO SUIT ??? BAL RATING,
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



U14 NORTHERN ELEVATION

1 : 100



U14 WESTERN ELEVATION

1 : 100



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD

Drawing:
ELEVATIONS

Drafted by:
Author

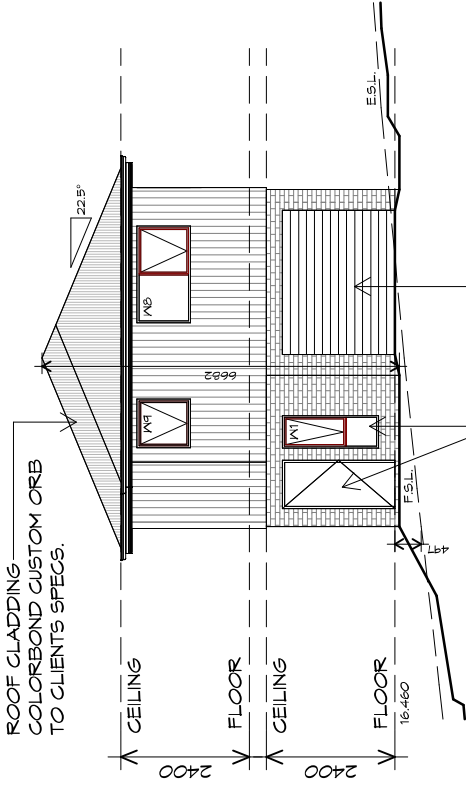
Approved by:
Approver

Date: 20.05.2024
Scale: 1 : 100

Project/Drawing no: PD23405 -E-04
Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A





DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

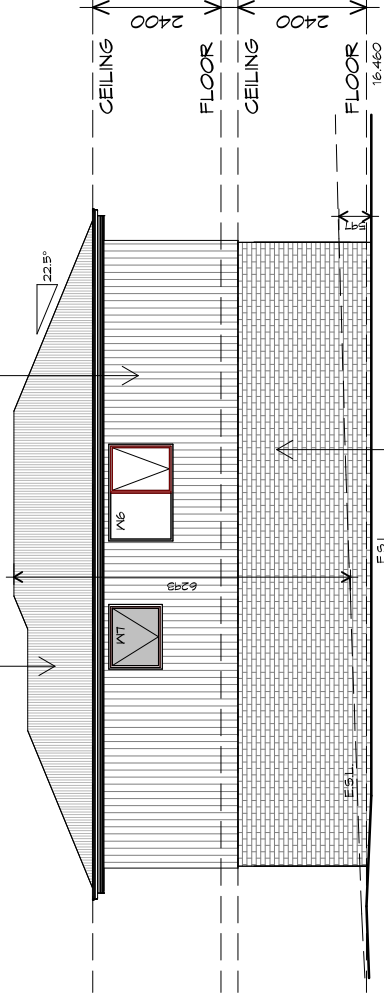
ROLLER DOOR 2100 WIDE x 2100 HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC

U14 SOUTHERN ELEVATION

1 : 100

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

U14 EASTERN ELEVATION

1 : 100

Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:
ELEVATIONS

Drafted by:
Author

Approved by:
Approver

Date:

20.05.2024

Scale:

1 : 100

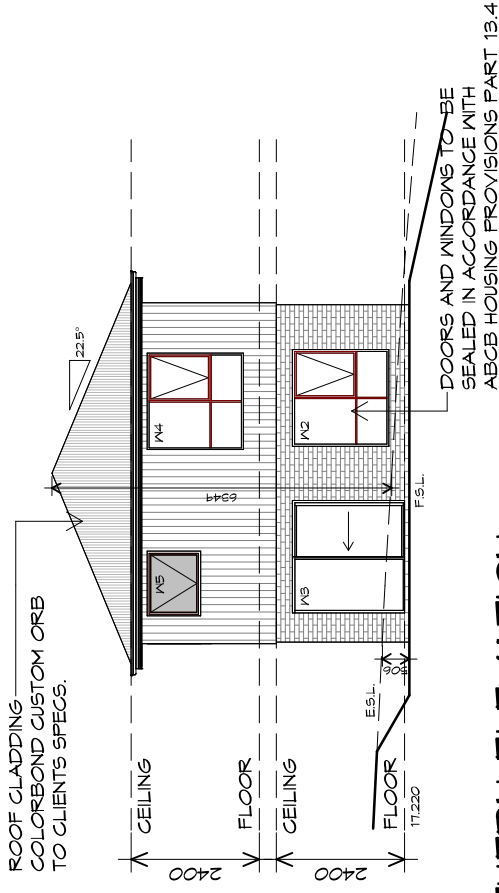
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PD23405 -E-05

Revision:

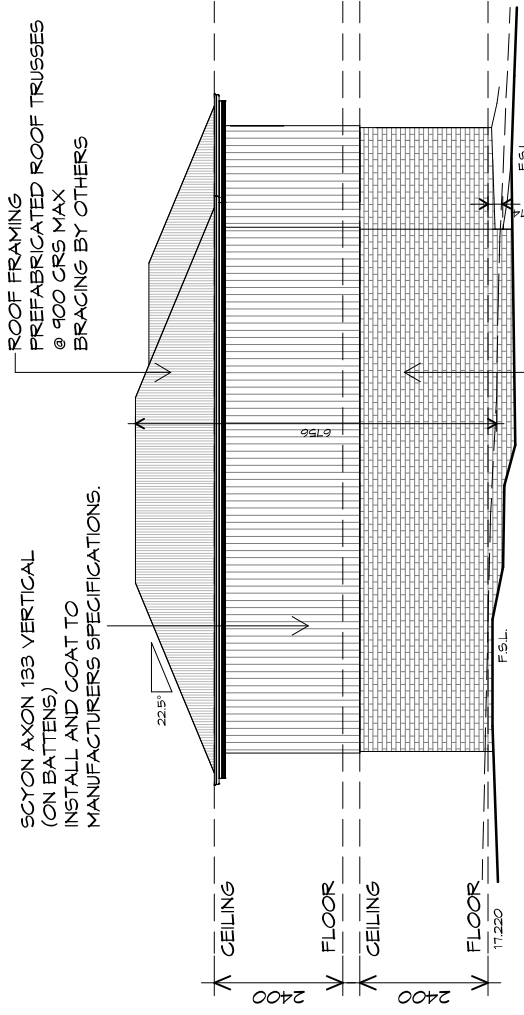
05

Accredited building practitioner: Frank Geskus -No CC246A



U15 NORTHERN ELEVATION

1 : 100



U15 WESTERN ELEVATION

1 : 100



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Project:
 PROPOSED UNIT DEVELOPMENT
 38 JETTY ROAD,
 OLD BEACH

Client name:
 GIC ESTATES PTY LTD

Drawing:
 ELEVATIONS

Drafted by: Approved by:
Author Approver

Date: 20.05.2024 **Scale:** 1 : 100

Project/Drawing no: Revision:
 PD23405 -E-06 05

Accredited building practitioner: Frank Geskus -No CC246A





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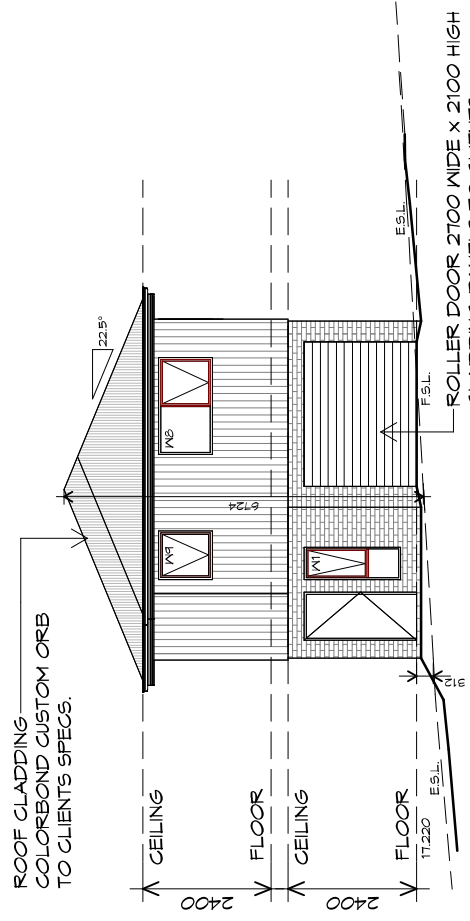
Project:
 PROPOSED UNIT DEVELOPMENT
 38 JETTY ROAD,
 OLD BEACH

Client name:
 GIC ESTATES PTY LTD

Drawing:
 ELEVATIONS

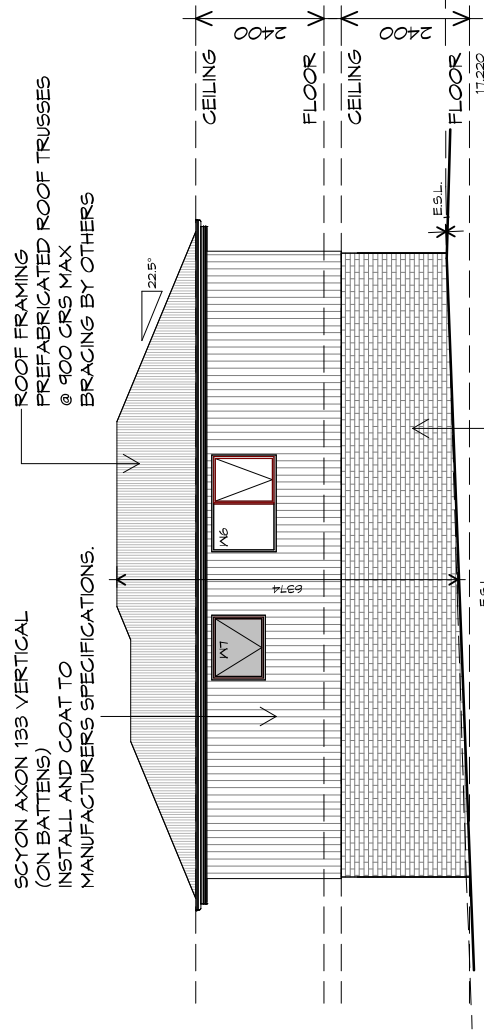
Drafted by: Author
Approved by: Approver
Date: 20.05.2024
Scale: 1 : 100

Project/Drawing no: PD23405 -E-07
Revision: 05
 Accredited building practitioner: Frank Geskus -No CC246A



U15 SOUTHERN ELEVATION

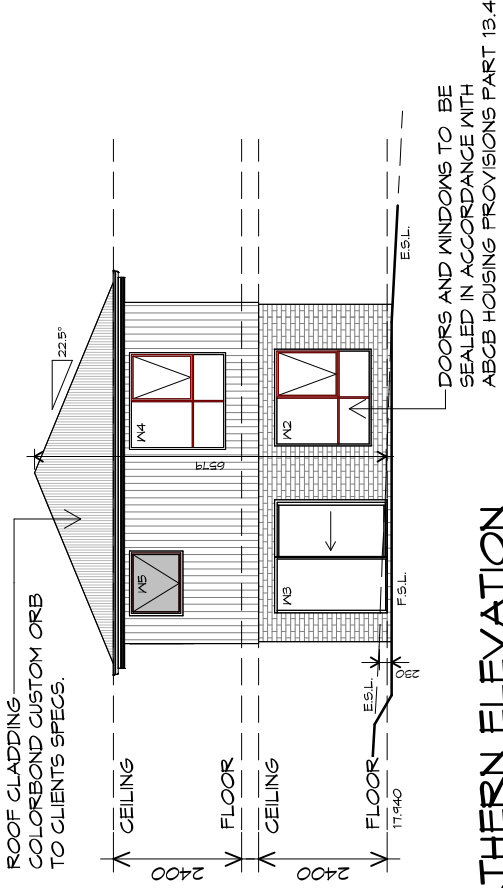
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U15 EASTERN ELEVATION

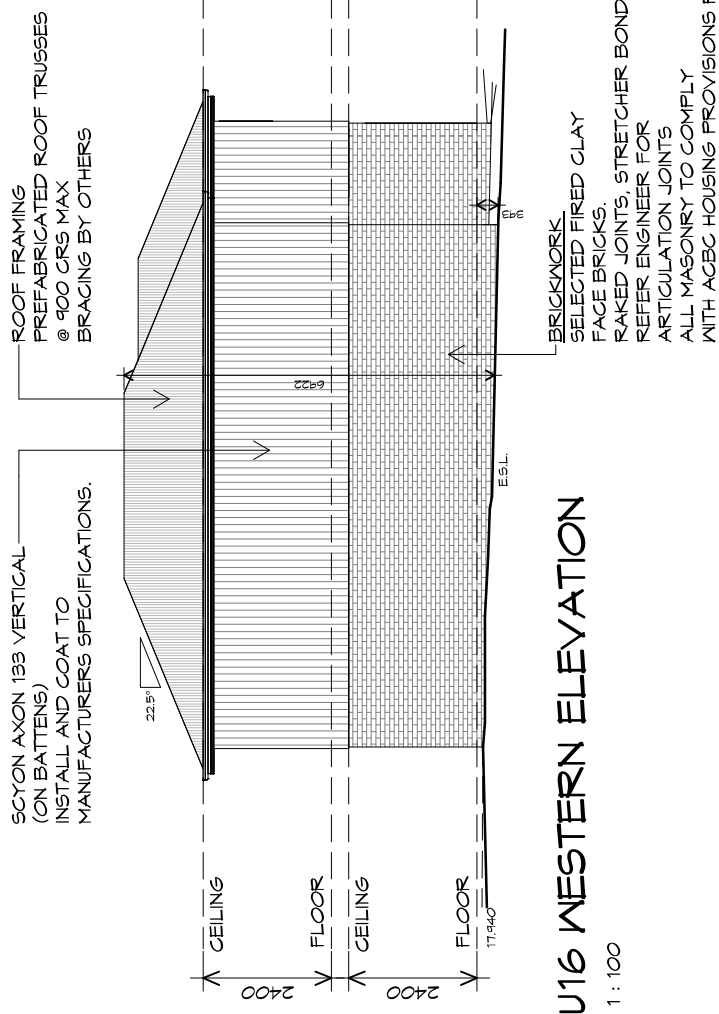
1 : 100





U16 NORTHERN ELEVATION

1 : 100



U16 WESTERN ELEVATION

1 : 100



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Project:
**PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH**

Client name:
GIC ESTATES PTY LTD

Drawing:
ELEVATIONS

Drafted by:
Author

Approved by:
Approver

Date:
20.05.2024

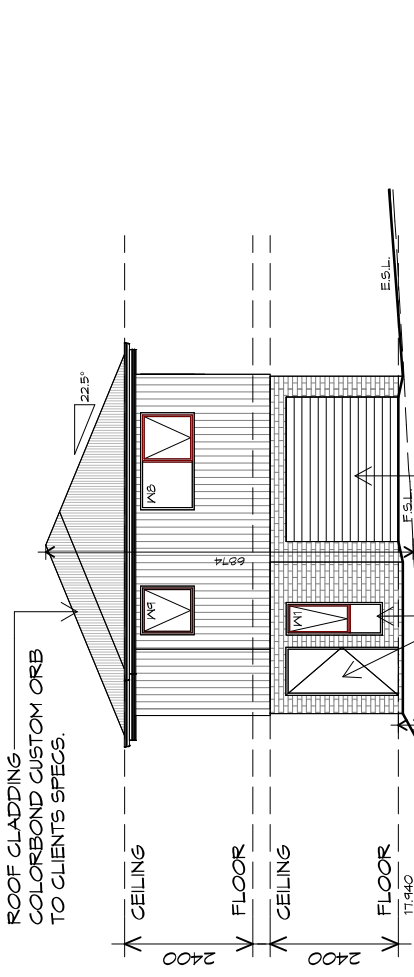
Scale:
1 : 100

Project/Drawing no:
PD23405 -E-08

Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A





ROOF CLADDING COLORBOND CUSTOM ORB TO CLIENTS SPECS.

CEILING 2400

FLOOR 2400

CEILING 2400

FLOOR 11,940

ESL

22.5°

M8

M7

M6

M5

6574

45°

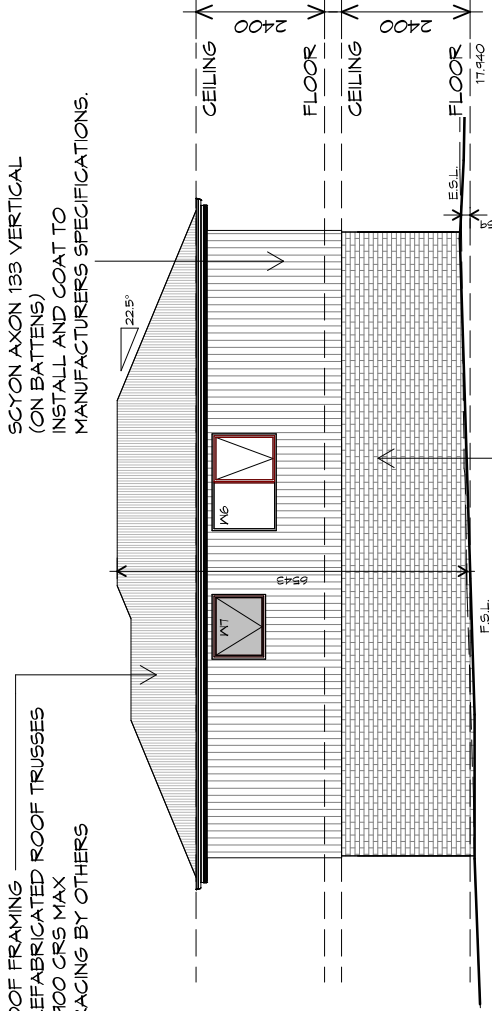
F.S.L.

ROLLER DOOR 2700 WIDE x 2100 HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

U16 SOUTHERN ELEVATION

1 : 100



ROOF FRAMING PREFABRICATED ROOF TRUSSES @ 900 CRS MAX BRACING BY OTHERS

CEILING 2400

FLOOR 2400

CEILING 2400

FLOOR 11,940

ESL

22.5°

M8

M7

M6

M5

6543

F.S.L.

SCYON AXON 133 VERTICAL (ON BATTENS) INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

BRICKWORK SELECTED FIRED CLAY FACE BRICKS. RAKED JOINTS, STRETCHER BOND REFER ENGINEER FOR ARTICULATION JOINTS ALL MASONRY TO COMPLY WITH ACBC HOUSING PROVISIONS PART 5

U16 EASTERN ELEVATION

1 : 100



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 p(0)+ 03 6228 4575
 info@primedesign.com.au primedesign.com.au

Project:
**PROPOSED UNIT DEVELOPMENT
 38 JETTY ROAD,
 OLD BEACH**

Client name:
GIC ESTATES PTY LTD

Drawing:
ELEVATIONS

Drafted by:
Author

Approved by:
Approver

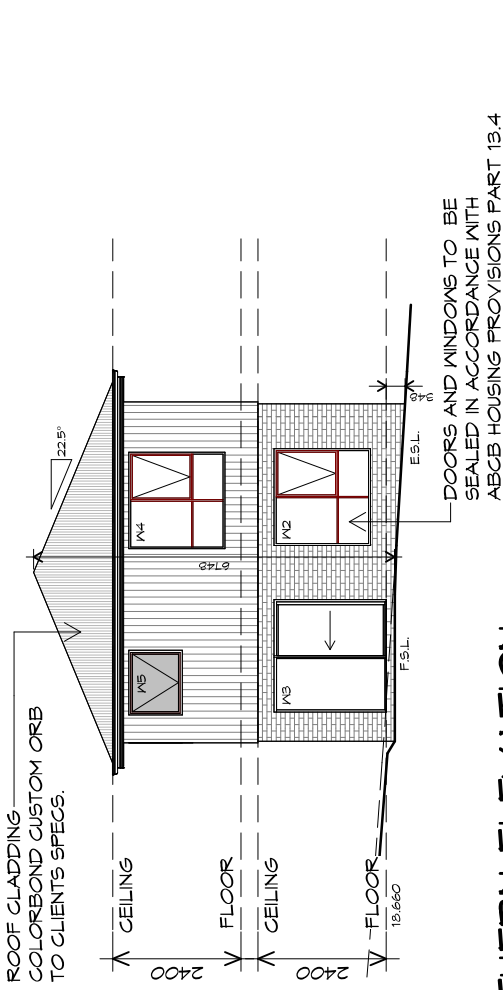
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20.05.2024

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Project/Drawing no:
PD23405 -E-09

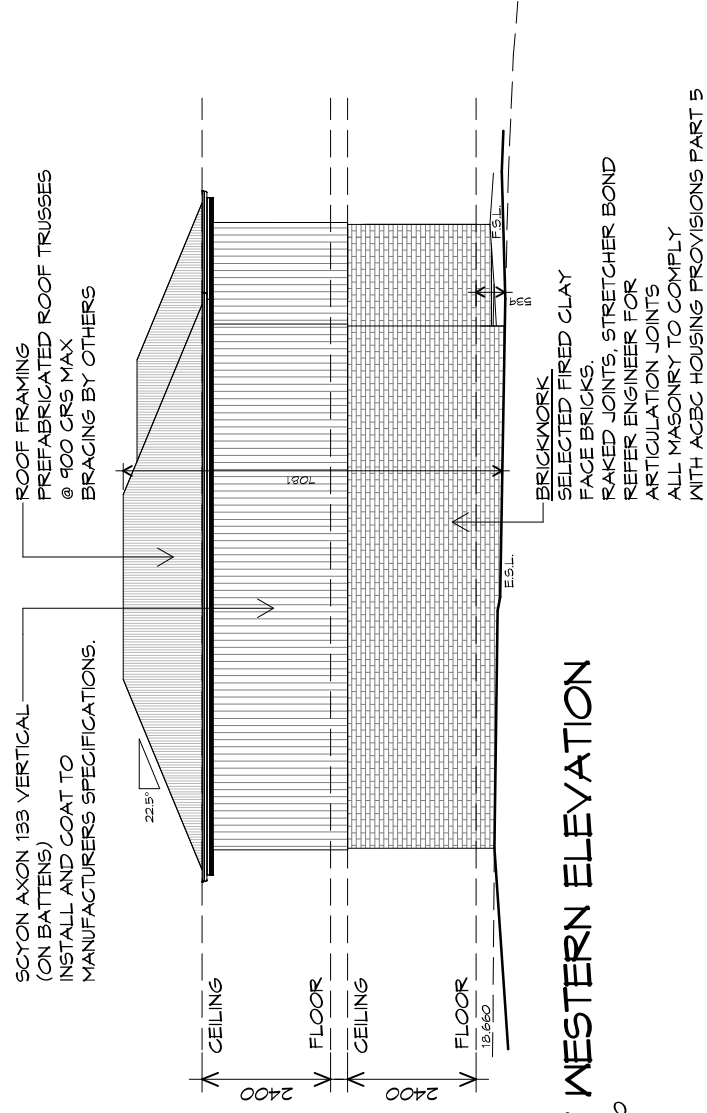
Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A



U17 NORTHERN ELEVATION

1 : 100



U17 WESTERN ELEVATION

1 : 100



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Project:
 PROPOSED UNIT DEVELOPMENT
 38 JETTY ROAD,
 OLD BEACH

Client name:
 GIC ESTATES PTY LTD

Drawing:
 ELEVATIONS

Drafted by:
 Author

Approved by:
 Approver

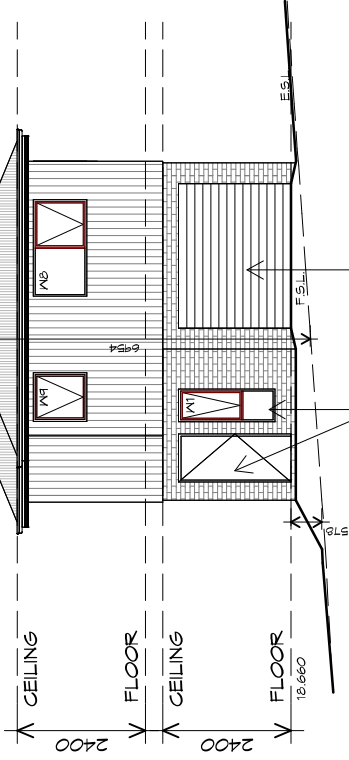
Date: 20.05.2024
Scale: 1 : 100

Project/Drawing no: PD23405 -E-10
Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A



ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENT'S SPECS.



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCBC HOUSING PROVISIONS PART 13.4

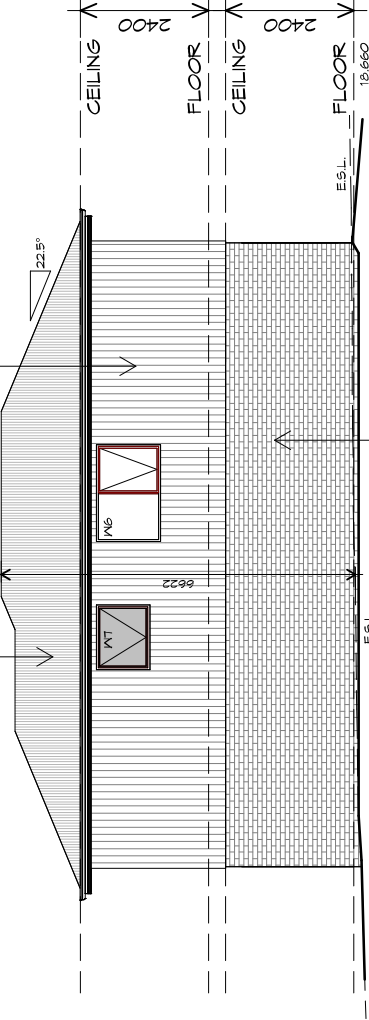
ROLLER DOOR 2100 WIDE X 2100 HIGH
CLADDING PANELS TO CLIENTS
SPEC FIXED IN ACCORDANCE WITH
MANUFACTURERS SPEC

U17 SOUTHERN ELEVATION

1 : 100

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS,
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCBC HOUSING PROVISIONS PART 5

U17 EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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p(0)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

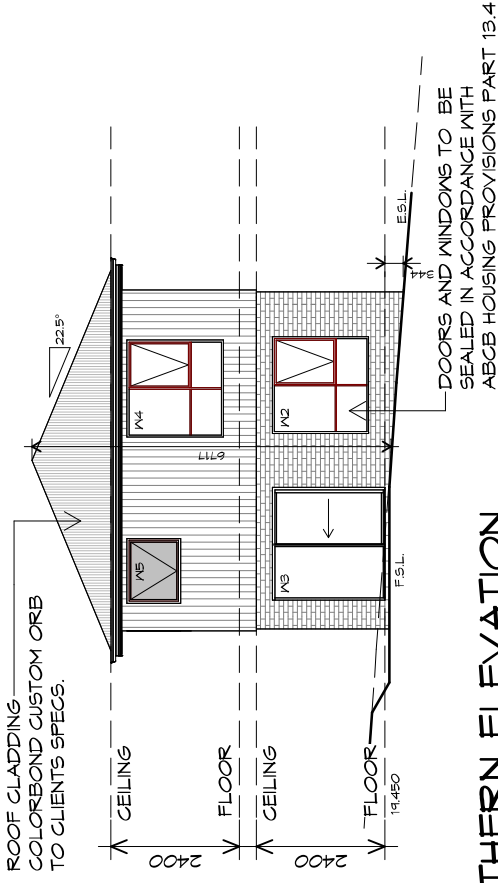
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PD23405 -E-11

Revision:

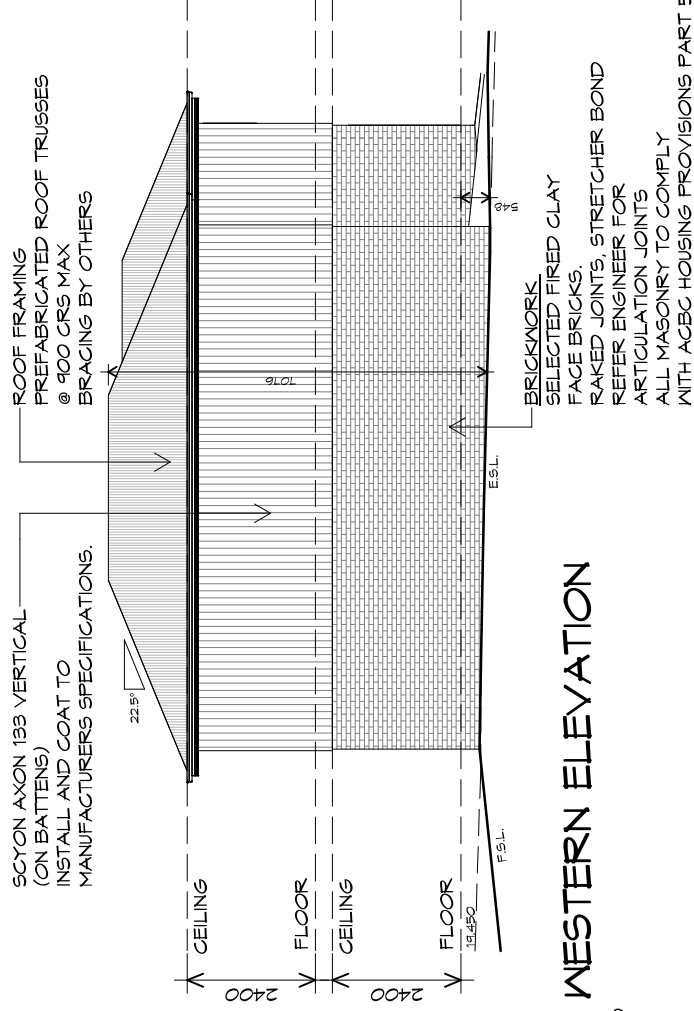
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Accredited building practitioner: Frank Geskus -No CC246A



U18 NORTHERN ELEVATION

1 : 100



U18 WESTERN ELEVATION

1 : 100



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Project:
PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:
GIC ESTATES PTY LTD

Drawing:
ELEVATIONS

Drafted by:
Author

Approved by:
Approver

Date:
20.05.2024

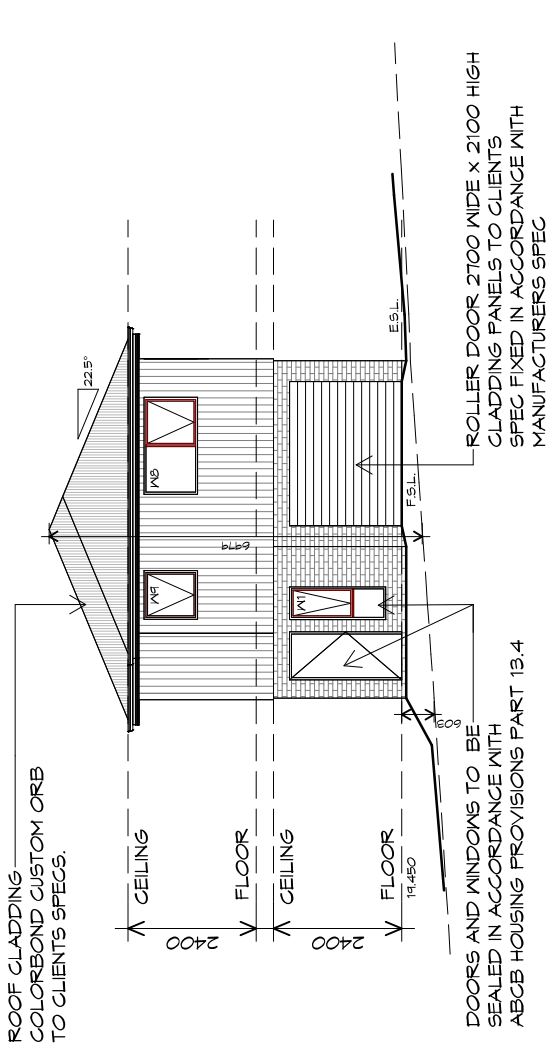
Scale:
1 : 100

Project/Drawing no:
PD23405 -E-12

Revision:
05

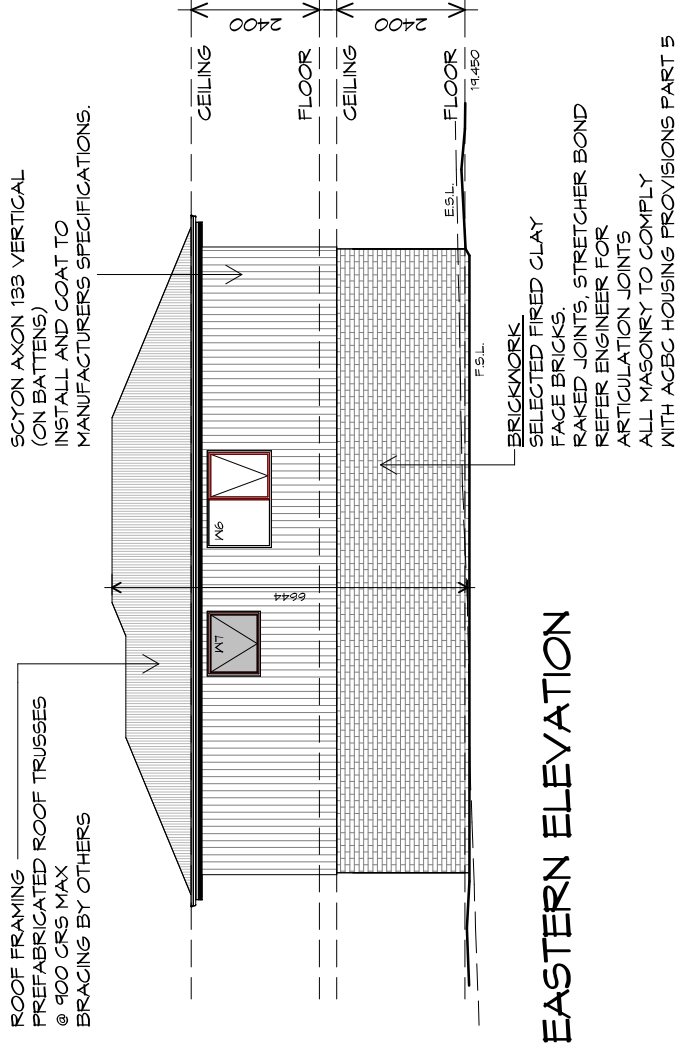
Accredited building practitioner: Frank Geskus -No CC246A





U18 SOUTHERN ELEVATION

1 : 100



U18 EASTERN ELEVATION

1 : 100



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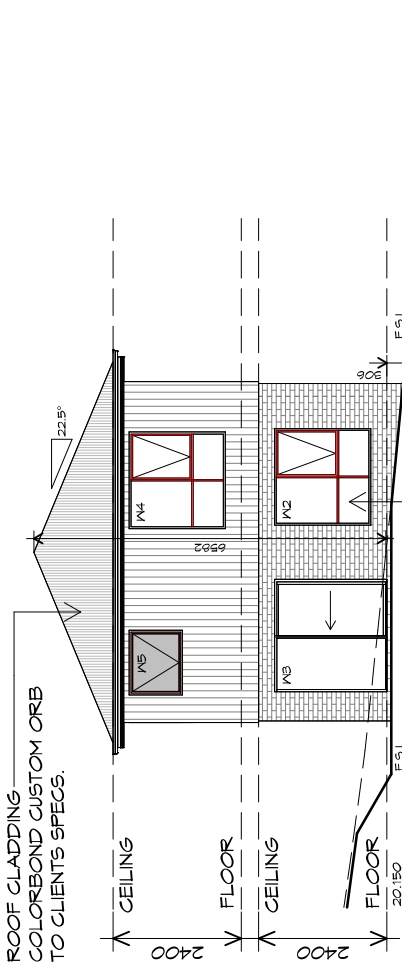
Project: **PROPOSED UNIT DEVELOPMENT
 38 JETTY ROAD,
 OLD BEACH**

Client name: **GIC ESTATES PTY LTD**
 Drawing: **ELEVATIONS**

Drafted by:	Author	Approved by:	Approver
Date:	20.05.2024	Scale:	1 : 100
Project/Drawing no:	PD23405 -E-13	Revision:	05
Accredited building practitioner: Frank Geskus -No CC246A			

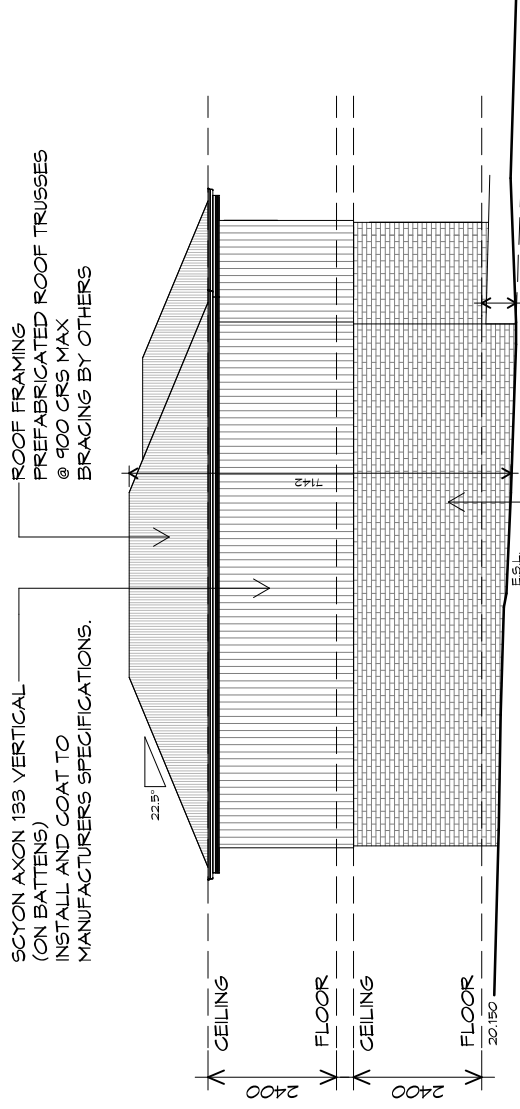


TYPE E - UNIT 18



U19 NORTHERN ELEVATION

1 : 100



U19 WESTERN ELEVATION

1 : 100



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Project:
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 38 JETTY ROAD,
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Client name:
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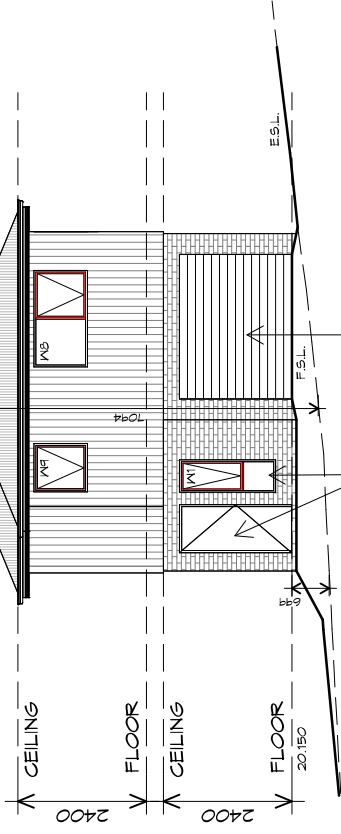
Drawing:
 ELEVATIONS

Drafted by: Author	Approved by: Approver
Date: 20.05.2024	Scale: 1 : 100

Project/Drawing no:
 PD23405 -E-14
Revision:
 05
 Accredited building practitioner: Frank Geskus -No CC246A



ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENT'S SPECS.



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

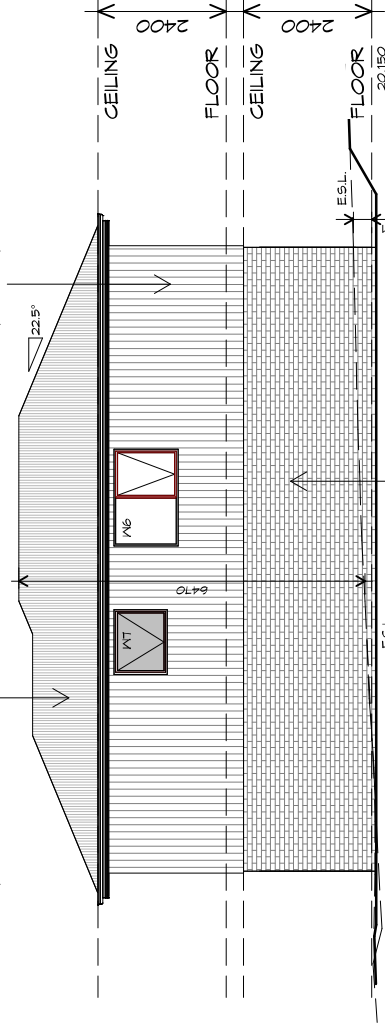
ROLLER DOOR 2100 WIDE X 2100 HIGH
CLADDING PANELS TO CLIENTS
SPEC FIXED IN ACCORDANCE WITH
MANUFACTURERS SPEC

U19 SOUTHERN ELEVATION

1 : 100

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



U19 EASTERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS,
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

ROOF PLUMBING NOTES:

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.4 WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

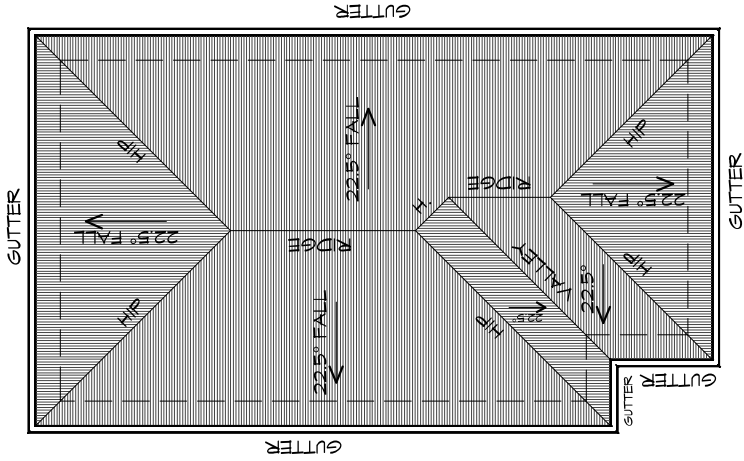
- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS, 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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ROOF PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -E-16

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.G. SQUARE STOP

PLANNING

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Project:

PROPOSED UNIT DEVELOPMENT
38 JETTY ROAD,
OLD BEACH

Client name:

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Drawing:

GROUND FLOOR PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

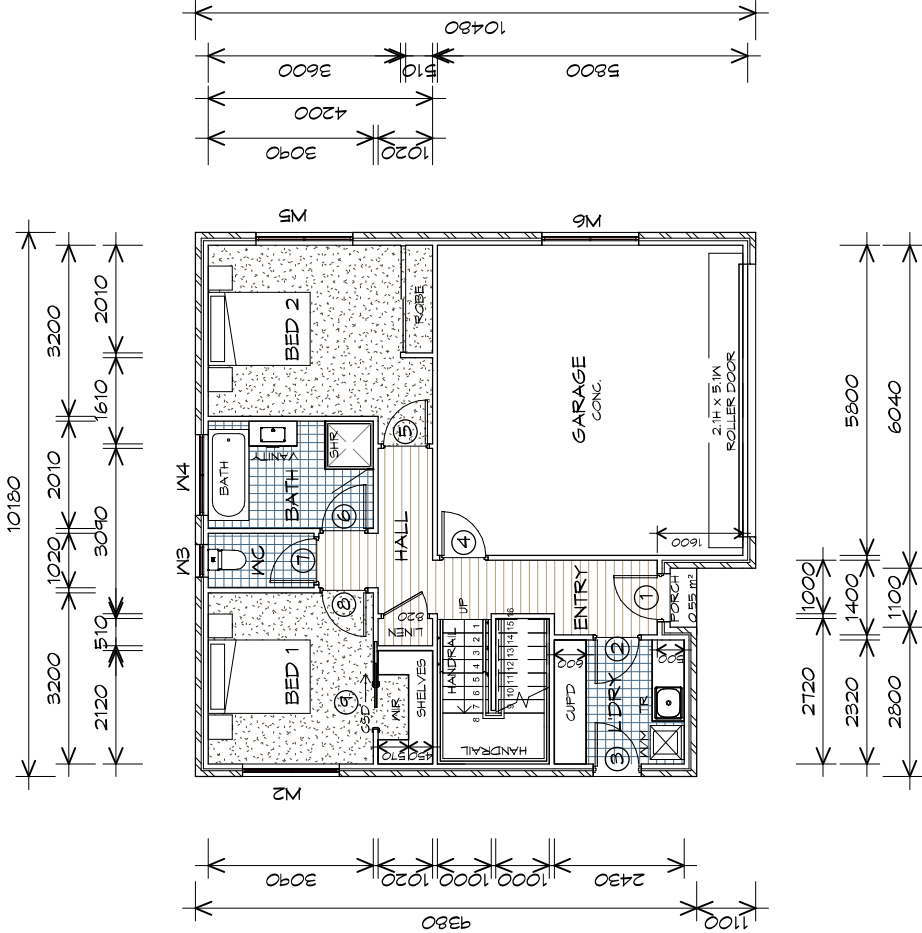
Project/Drawing no:

PD23405 -F1-01

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	65.05 m ²	(7.00 SQUARES)
FIRST FLOOR AREA	79.56 m ²	(8.56 SQUARES)
GARAGE AREA	36.81 m ²	(3.96 SQUARES)
TOTAL AREA	181.43	19.53

STAIRS	NO RISERS	RISER HT	TREAD DEPTH
	16	179	250

NON SLIP TO COMPLY NCC 2022

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING
 AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND
 OUTDOOR AREAS ARE CALCULATED SEPARATELY.



TYPE F1 - UNIT 32-34, 46

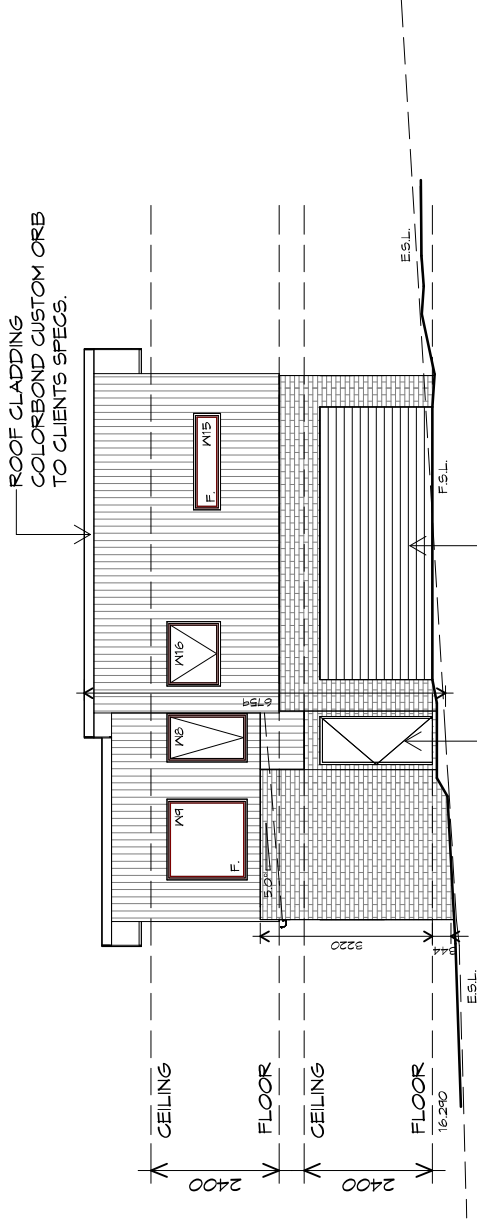
GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	GLAZED EXTERNAL DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	CAVITY SLIDING DOOR	

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
10	820	INTERNAL TIMBER DOOR	
11	720	INTERNAL TIMBER DOOR	
12	820	CAVITY SLIDING DOOR	
13	720	CAVITY SLIDING DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W2	1200	1810	ANNING WINDOW	
W3	1000	610	ANNING WINDOW	OPAQUE
W4	1000	1510	ANNING WINDOW	OPAQUE
W5	1200	1810	ANNING WINDOW	
W6	600	1810	ANNING WINDOW	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W7	600	910	ANNING WINDOW	OPAQUE
W8	1500	910	ANNING WINDOW	
W9	1500	1510	FIXED WINDOW	
W10	1800	2110	ANNING WINDOW	
W11	1000	610	ANNING WINDOW	OPAQUE
W12	1800	1210	ANNING WINDOW	
W13	1800	1210	ANNING WINDOW	
W14	1800	1810	ANNING WINDOW	
W15	500	1800	FIXED WINDOW	1100mm SILL
W16	1000	1210	ANNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
 WITH FLY SCREENS TO SUIT ??? BAL RATING.
 ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
 PRIOR TO ORDERING



DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

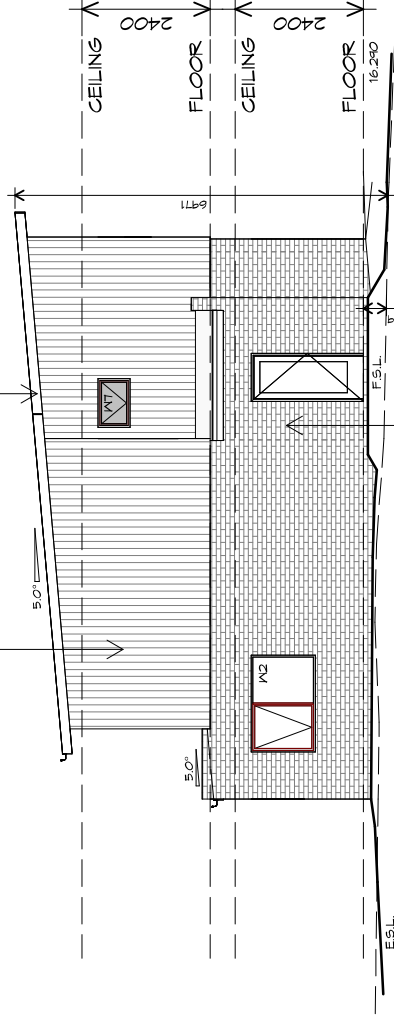
ROLLER DOOR 5100 WIDE X 2100 HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC

U32 SOUTHERN ELEVATION

1 : 100

SCYON AXON 133 VERTICAL (ON BATTENS) INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

ROOF FRAMING PREFABRICATED ROOF TRUSSES @ 900 CRS MAX BRACING BY OTHERS



U32 WESTERN ELEVATION

1 : 100

BRICKWORK SELECTED FIRED CLAY FACE BRICKS. RAKED JOINTS, STRETCHER BOND REFER ENGINEER FOR ARTICULATION JOINTS ALL MASONRY TO COMPLY WITH ACBC HOUSING PROVISIONS PART 5



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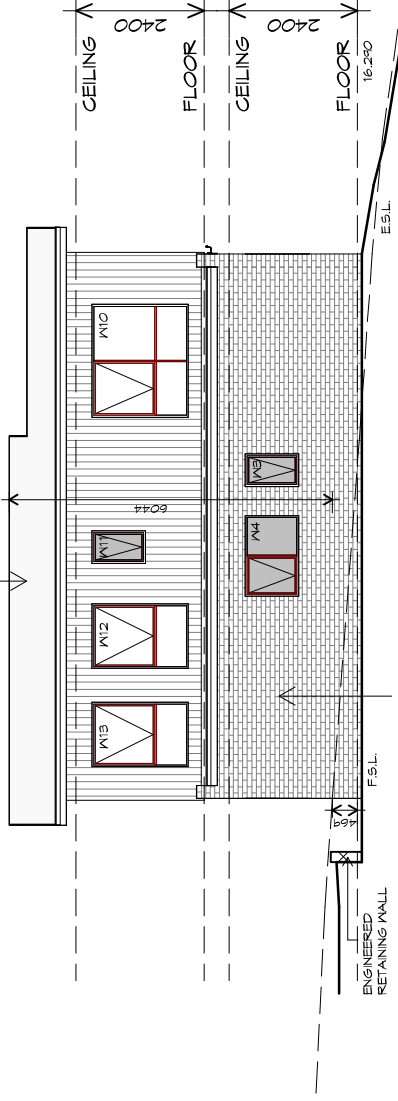
Drawing: **ELEVATIONS**

Drafted by: **Author**
 Approved by: **Approver**
 Date: **20.05.2024** Scale: **1 : 100**

Project/Drawing no: **PD23405 -F1-04** Revision: **05**

Accredited building practitioner: Frank Geskus -No CC246A

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



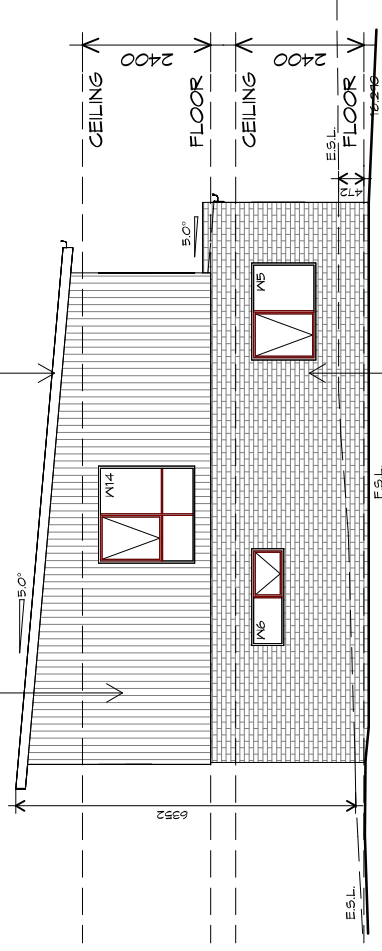
DOORS AND WINDOWS TO BE
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ABCBC HOUSING PROVISIONS PART 13.4

U32 NORTHERN ELEVATION

1 : 100

SCYON AXON 133 VERTICAL
(ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCBC HOUSING PROVISIONS PART 5

U32 EASTERN ELEVATION

1 : 100

PLANNING

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1 : 100

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Revision:
05

Accredited building practitioner: Frank Geskus -No CC246A



TYPE F1 - UNIT 32