



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**SA2024/003**

LOCATION OF AFFECTED AREA

**115 COVE HILL ROAD, BRIDGEWATER**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**SUBDIVISION (1 LOT PLUS BALANCE)**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **13/06/2024 (EXTENDED PURSUANT TO S57(5AA) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 FOR PUBLIC HOLIDAY)**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**General Manager**



**Brighton**  
going places

# PLAN OF SUBDIVISION

Owners  
COVE HILL ROAD PTY LTD; BRIGHTON COUNCIL

Title References  
FR 176216/103; FR 177664/105

Address  
115 Cove Hill Road, Bridgewater  
LOT 5 Taylor Crescent, Bridgewater

Council  
Brighton Council

Brighton Local Provisions Schedule

Zone  
18 Light Industrial

Zone Code and General Overlay  
9 Attenuation Code  
13 Bushfire-prone Areas Code

Brighton Industrial Hub  
Specific Area Plan  
Bridgewater Quarry  
Specific Area Plan

PID  
9945127

Point of interest GDA2020 MGA55  
520860E.5248378N

Schedule of Easements  
Existing (SEE PLAN)  
Proposed (SEE PLAN)

## NOTES

This plan has been prepared only for the purpose of obtaining preliminary subdivision approval from the Council and the information shown hereon should be used for no other purpose. All measurements and areas are subject to final survey.

Entire site is subject to the Bushfire Code Overlay & Attenuation Code. These are not shown for plan clarity purpose.

LIST Cadastral Parcels by State of Tasmania  
www.thelist.tas.gov.au  
CC BY 3.0

1.0m Contours:  
GreaterHobartLIDAR2013 DEM  
https://elevation.fsdcf.org.au/  
CC BY 4.0

Digital Aerial Photo:  
Brighton 10CM 2019  
by State of Tasmania  
https://mre.tas.gov.au/  
land-tasmania/aerial-photography  
CC BY 3.0

Modified by Vignette

6 Freeman Street Kingston, Tasmania, 7050 Phone: +61 (0)82939400 Fax: +61 (0)82939401 EMAIL: <a href="mailto:pda@pda.com.au">pda@pda.com.au</a> www.pda.com.au	SCALE 1:2000	PAPER (A3)
Also at: <a href="mailto:rob@pda.com.au">rob@pda.com.au</a> <a href="mailto:shane@pda.com.au">shane@pda.com.au</a>	JOB NUMBER: 52176MS-P2D	DRAWING

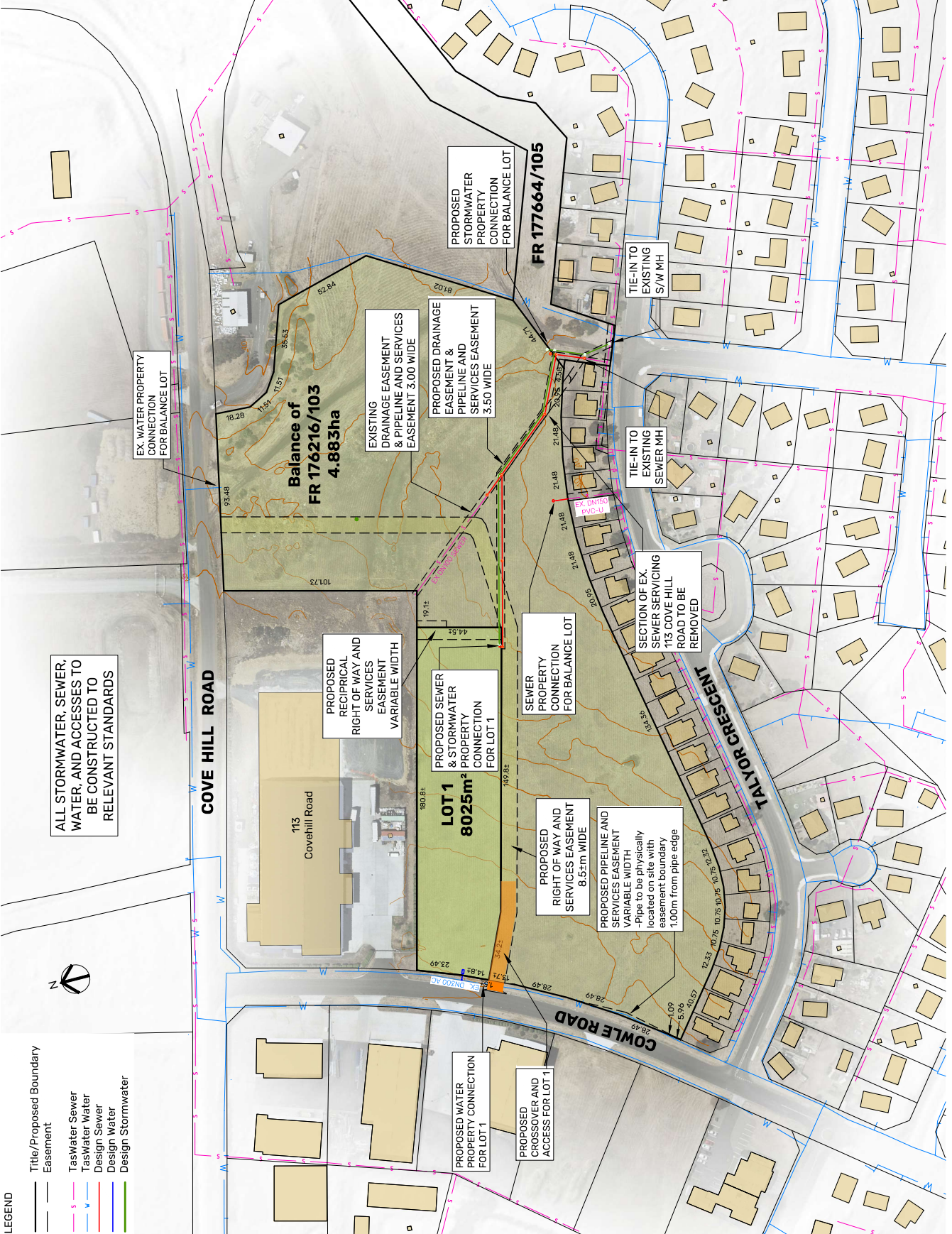


## PLAN OF SUBDIVISION 115 COVEHILL ROAD, BRIDGEWATER for THE YOUNG GROUP

SUPPLIER	COORDINATOR
DRAWN MK	DESIGNED MS
DATE 9 JANUARY 2023	

REV	DESCRIPTION	DATE	BY
D	PLAN OF SUBDIVISION - New Services, Layout, update easements	MS 21.05.24	MS
C	PLAN OF SUBDIVISION - New Pipeline and Services Easement Proposed for existing water	MS 04.02.24	MS
B	EXIST PLAN OF SUBDIVISION - Accession added	MS 25.03.24	MS
A	EXIST PLAN OF SUBDIVISION - Based on updated survey files	MS 15.03.24	MS
O	EXIST PLAN OF SUBDIVISION	MS 09.01.24	MS

REV	DESCRIPTION	DATE	BY
D	PLAN OF SUBDIVISION - New Services, Layout, update easements	MS 21.05.24	MS
C	PLAN OF SUBDIVISION - New Pipeline and Services Easement Proposed for existing water	MS 04.02.24	MS
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A	EXIST PLAN OF SUBDIVISION - Based on updated survey files	MS 15.03.24	MS
O	EXIST PLAN OF SUBDIVISION	MS 09.01.24	MS



ALL STORMWATER, SEWER, WATER, AND ACCESSES TO BE CONSTRUCTED TO RELEVANT STANDARDS

EX. WATER PROPERTY CONNECTION FOR BALANCE LOT

Balance of FR 176216/103 4.883ha

EXISTING DRAINAGE EASEMENT & PIPELINE AND SERVICES EASEMENT 3.00 WIDE

PROPOSED DRAINAGE EASEMENT & PIPELINE AND SERVICES EASEMENT 3.50 WIDE

PROPOSED STORMWATER PROPERTY CONNECTION FOR BALANCE LOT

FR 177664/105

SECTION OF EX. SEWER SERVICING 113 COVE HILL ROAD TO BE REMOVED

PROPOSED RECIPROCAL RIGHT OF WAY AND SERVICES EASEMENT VARIABLE WIDTH

PROPOSED SEWER & STORMWATER PROPERTY CONNECTION FOR LOT 1

SEWER PROPERTY CONNECTION FOR BALANCE LOT

PROPOSED RIGHT OF WAY AND SERVICES EASEMENT 8.5m WIDE

PROPOSED PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH - Pipe to be physically located on site with easement boundary 1.00m from pipe edge

PROPOSED WATER PROPERTY CONNECTION FOR LOT 1

PROPOSED CROSSOVER AND ACCESS FOR LOT 1

### LEGEND

	Title/Proposed Boundary
	Easement
	TasWater Sewer
	TasWater Water
	Design Sewer
	Design Water
	Design Stormwater



**CIVIL DRAWINGS  
COVE HILL SUBDIVISION  
COVE HILL ROAD  
BRIDGEWATER**

C001	COVER	D	8/05/2024
C101	SITE PLAN	C	23/04/2024
C102	ROAD AND STORMWATER PLAN - SHEET 1	B	23/04/2024
C103	ROAD AND STORMWATER PLAN - SHEET 2	B	23/04/2024
C104	SEWER AND WATER PLAN - SHEET 1	D	8/05/2024
C105	SEWER AND WATER PLAN - SHEET 2	D	8/05/2024
C301	STORMWATER LONG SECTIONS- SHEET 1	B	23/04/2024
C302	STORMWATER LONG SECTIONS- SHEET 2	C	23/04/2024
C303	SEWER LONG SECTIONS - SHEET 1	D	8/05/2024
C304	SEWER LONG SECTIONS - SHEET 2	C	8/05/2024

D	PLANNING APPROVAL	8/05/2024	DRAWN: NM	NM	PROJECT: COVE HILL SUBDIVISION	ADDRESS: COVE HILL ROAD BRIDGEWATER	SHEET: COVER
	C	PLANNING APPROVAL	23/04/2024	CHECKED: 0			
B	PLANNING APPROVAL	9/04/2024	DESIGN: NM	NM	CLIENT: THE YOUNG GROUP	SCALE: AS INDICATED	TOTAL SHEETS: 10
A	PRELIMINARY	15/03/2024	CHECKED: 0	0	PROJECT No: 24 E 99 - 38	PROJECT No: 24 E 99 - 38	SHEET: C001
REV	ISSUE	DATE	VERIFIED: 0	0			REV: D

Lower Ground  
199 Macquarie Street  
Hobart TAS 7000  
03 6234 8666  
mail@aldanmark.com.au  
www.aldanmark.com.au





**SITE PLAN**  
SCALE 1:1000 (A1)

REV	ISSUE	DATE	APPROVAL
A	PRELIMINARY	15/03/2024	0
B	PLANNING APPROVAL	04/04/2024	0
C	PLANNING APPROVAL	23/04/2024	0
			NM
			0
			NM
			0

PROJECT:	COVE HILL SUBDIVISION
ADDRESS:	COVE HILL ROAD BRIDGEWATER
CLIENT:	THE YOUNG GROUP

Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au
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<b>ALDANMARK</b> CONSULTING ENGINEERS
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PROJECT No:	24 E 99 - 38
SHEET:	C101
SCALE:	1:1000
TOTAL SHEETS:	10
SIZE:	A1

PROJECT: COVE HILL SUBDIVISION

ADDRESS: COVE HILL ROAD  
BRIDGEWATER

CLIENT: THE YOUNG GROUP

Scale: 1:1000

0 10 20 30 40 50 60 70 80 90 100m



STORMWATER LEGEND	
	PVC STORMWATER DN150 S/N8 U.N.O.
	EXISTING STORMWATER
	CONCRETE MANHOLE WITH CLASS 'D' LID AS PER ISD-SW2-V3
	INSPECTION OPENING
SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJMIN)
	EXISTING SURFACE CONTOUR (MAJMIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS
NOTES	
THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASSWATER) PRIOR TO CONSTRUCTION.	
THESE DRAWINGS MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.	
BEWARE OF UNDERGROUND SERVICES. EXISTING SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEES ARE GIVEN THAT ALL SERVICES ARE SHOWN.	

STORMWATER LEGEND

SITE & EXISTING SERVICES LEGEND

NOTES

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SERVICE DATA AS PER PDA  
DETAILED SURVEY DATED 22/06/22

ROAD AND STORMWATER PLAN - SHEET 1



REV	ISSUE	DATE	APPROVAL
B	PLANNING APPROVAL	23/04/2024	
A	PLANNING APPROVAL	9/04/2024	

PROJECT:	COVE HILL SUBDIVISION
ADDRESS:	COVE HILL ROAD BRIDGEMATER
CLIENT:	THE YOUNG GROUP
SCALE:	1:750
TOTAL SHEETS:	10
SIZE:	A1
PROJECT No:	24 E 99 - 38
SHEET:	C102
REV:	B

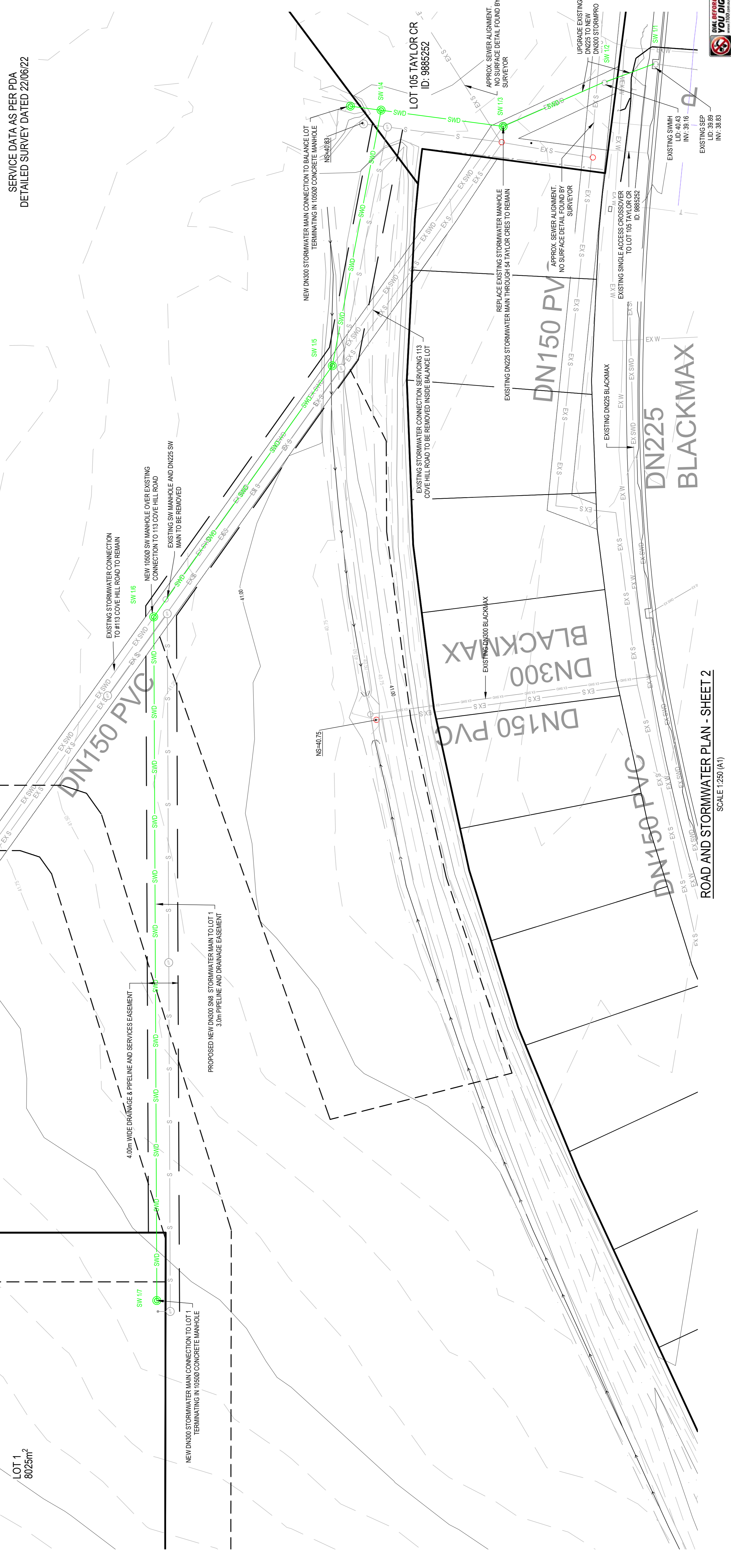
Lower Ground	199 Macquarie Street
Hobart TAS 7000	03 6234 8666
mail@aldanmark.com.au	www.aldanmark.com.au

**ALDANMARK**  
CONSULTING ENGINEERS

STORMWATER LEGEND	
	PVC STORMWATER DN150 S/N8 U.O.
	EXISTING STORMWATER
	CONCRETE MANHOLE WITH CLASS 'D' LID AS PER ISD-SW2-V3 INSPECTION OPENING
SITE & EXISTING SERVICES LEGEND	
	DESIGN SURFACE CONTOUR (MAJ/MIN)
	EXISTING SURFACE CONTOUR (MAJ/MIN)
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TEL STRA
	EXISTING M/N
	EXISTING GAS
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**SERVICE DATA AS PER PDA**  
**DETAILED SURVEY DATED 22/06/22**



PROJECT:	COVE HILL SUBDIVISION	ADDRESS:	COVE HILL ROAD BRIDGEWATER	SHEET:	ROAD AND STORMWATER PLAN - SHEET 2
CLIENT:	THE YOUNG GROUP	SCALE:	1:250	TOTAL SHEETS:	10
PROJECT No:	24 E 99 - 38	SHEET:	C103	REV:	B

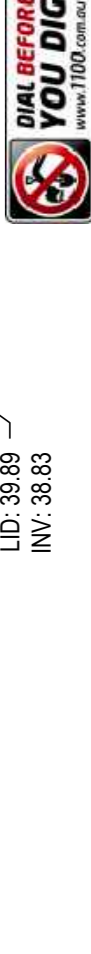
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DESIGN:	NM	CHECKED:	0
VERIFIED:	0	DATE:	9/04/2024
APPROVAL:		ISSUE:	

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 199 Macquarie Street  
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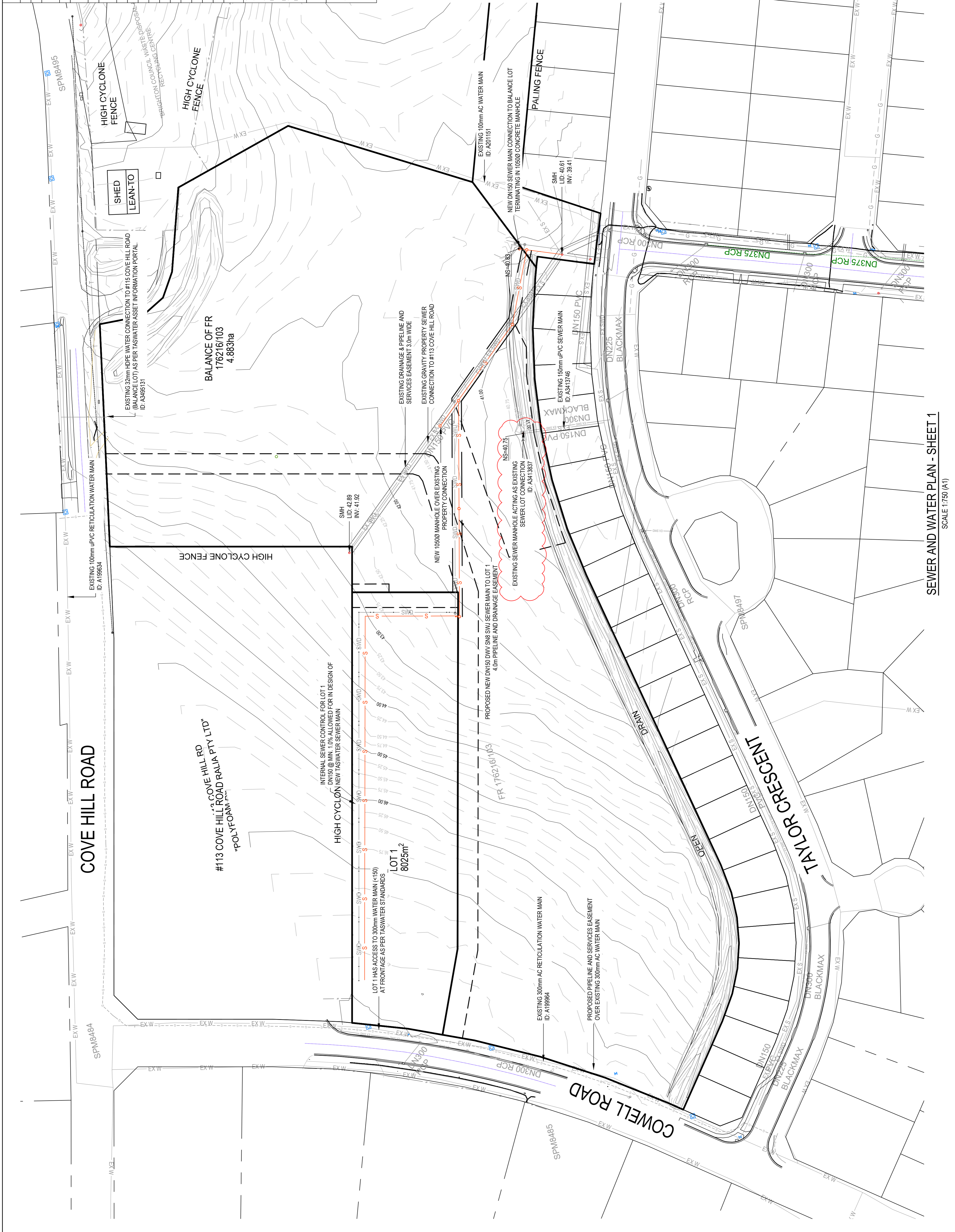
PLANNING APPROVAL	23/04/2024
PLANNING APPROVAL	9/04/2024

REV	ISSUE
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SEWER LEGEND	
— S —	UPVC SEWER DN100 S/N6 U.N.O.
— EX S —	EXISTING SEWER
— (M) —	SEWER MAINTENANCE HOLE 10500 AS PER MRWA-S-307
— (O) —	INSPECTION OPENING
WATER SERVICES LEGEND	
— EX W —	EXISTING WATER MAIN
SITE & EXISTING SERVICES LEGEND	
— 2.0 —	DESIGN SURFACE CONTOUR (MAJMIN)
— 2.0 —	EXISTING SURFACE CONTOUR (MAJMIN)
— — —	BOUNDARY
— — —	EASEMENT
— — —	EXISTING FENCE
— — —	EXISTING OVERHEAD POWER
— — —	EXISTING UNDERGROUND POWER
— — —	EXISTING TELSTRA
— — —	EXISTING NBN
— — —	EXISTING GAS
NOTES	
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WATER & SEWER NOTES	
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA, WS/L 03, 2011-131 AND THE TASWATER DESIGN SPECIFICATIONS FOR AUSTRALIAN RESIDENTIAL WATER SERVICES (AS PER TWS-M-0003) AND TWSWATER SUPPLEMENTS TO THESE CODES.	
CODE NS-102 - 2014-3, MRWA-VERSION2 AND TWSWATER SUPPLEMENTS TO THESE CODES.	
WATER METER ASSEMBLY TO BE HOUSED IN WINDAL PROOF CAGE AS PER TWS-M-0003. DEVELOPER TO LIASE WITH TWSWATER FOR SUPPLY OF ABLDY LOCK AND PIN AT DEVELOPERS COST.	

SEWER AND WATER PLAN - SHEET 1  
 SCALE 1:750 (A1)



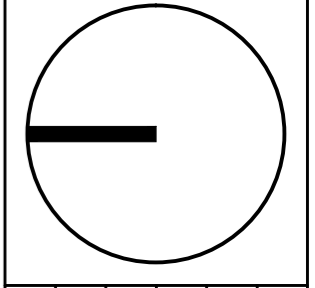
REV	ISSUE	DATE	APPROVAL
D	PLANNING APPROVAL	8/05/2024	NM
C	PLANNING APPROVAL	23/04/2024	NM
B	PLANNING APPROVAL	9/04/2024	0
A	PRELIMINARY	15/03/2024	0

PROJECT: COVE HILL SUBDIVISION  
 ADDRESS: COVE HILL ROAD BRIDGEWATER  
 CLIENT: THE YOUNG GROUP  
 AS INDICATED

SEWER AND WATER PLAN - SHEET 1  
 SCALE 1:750 (A1)

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SEWER AND WATER PLAN - SHEET 1  
 SHEET: SEWER AND WATER PLAN - SHEET 1  
 SCALE: 1:750  
 TOTAL SHEETS: 10  
 PROJECT No: 24 E 99 - 38  
 SHEET: C104  
 REV: D

SEWER LEGEND	
UPVC SEWER DN100 S16 U.N.O.	— S —
EXISTING SEWER	— EX S —
SEWER MAINTENANCE HOLE 10500 AS PER MRWA-S-307	⊙
INSPECTION OPENING	⊙ IO
WATER SERVICES LEGEND	
EXISTING WATER MAIN	— EX W —
SITE & EXISTING SERVICES LEGEND	
DESIGN SURFACE CONTOUR (MAJMIN)	— 26.0 —
EXISTING SURFACE CONTOUR (MAJMIN)	— 26.0 —
BOUNDARY	— — —
EASEMENT	— — —
EXISTING FENCE	— — —
EXISTING OVERHEAD POWER	— OH —
EXISTING UNDERGROUND POWER	— E —
EXISTING TEL STRA	— OP —
EXISTING MBN	— FOC —
EXISTING GAS	— G —
NOTES	
THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TSWATER) PRIOR TO CONSTRUCTION.	
THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.	
BEWARE OF UNDERGROUND SERVICES: DIMENSIONS ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVIDED ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEES IS GIVEN THAT ALL SERVICES ARE SHOWN.	
WATER & SEWER NOTES	
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA, WSL 18, 2011-131 (RESIDENTIAL) AND THE WATER SERVICES CODE OF AUSTRALIA, WSL 18, 2011-131 (COMMERCIAL). WATER AGENCIES CODE NS142 - 2014-3, MRWA VERSION 2 AND TSWATER'S SUPPLEMENTS TO THESE CODES.	
WATER METER ASSEMBLY TO BE HOUSED IN VANDAL PROOF CAGE AS PER TWS-M-003. DEVELOPER TO LIASE WITH TSWATER FOR SUPPLY OF ABOY LOCK AND PIN AT DEVELOPERS COST.	

**SERVICE DATA AS PER PDA  
DETAILED SURVEY DATED 22/06/22**

ALLOW SLEEVE SEWER MAINS WHERE ABOVE STORMWATER

10500 SEWER MANHOLE AS PER MRWA-S-307 BY DEVELOPER AND DEVELOPERS COST

EXISTING GRAVITY PROPERTY SEWER CONNECTION TO #113 COVE HILL ROAD

ALLOW TO SLEEVE SEWER MAINS WHERE ABOVE STORMWATER

10500 SEWER MANHOLE AS PER MRWA-S-307 BY DEVELOPER AND DEVELOPERS COST

EXISTING SEWER MANHOLE ACTING AS EXISTING SEWER LOT CONNECTION ID: A3413837 INV: 39.39

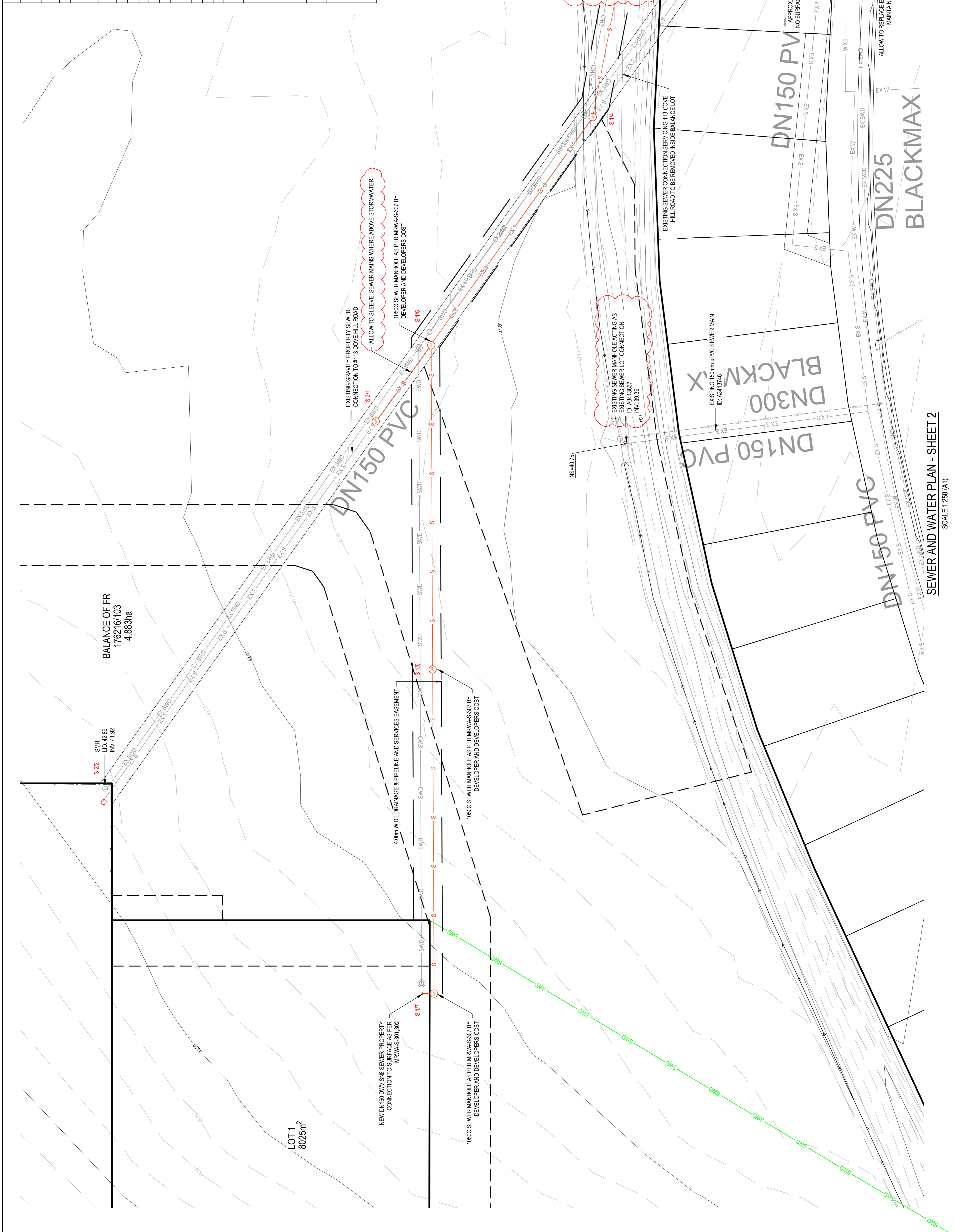
EXISTING 150mm UPVC SEWER MAN ID: A3413746

EXISTING SEWER CONNECTION SERVICING 113 COVE HILL ROAD TO BE REMOVED INSIDE BALANCE LOT

ALLOW TO REPLACE EXISTING DN150 PVC MAIN WITH DN150 PVC-O WATER MAIN. MAINTAIN 150mm CLEARANCE TO NEW DN300 SW MAIN

APPROX. SEWER ALIGNMENT. NO SURFACE DETAIL FOUND BY SURVEYOR

APPROX. SEWER ALIGNMENT. NO SURFACE DETAIL FOUND BY SURVEYOR



REV	ISSUE	DATE	APPROVAL
D	PLANNING APPROVAL	8/05/2024	NM
C	PLANNING APPROVAL	23/04/2024	NM
B	PLANNING APPROVAL	9/04/2024	0
A	PRELIMINARY	15/03/2024	0

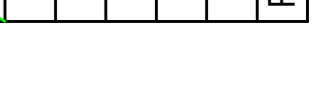
PROJECT: COVE HILL SUBDIVISION  
ADDRESS: COVE HILL ROAD BRIDGEWATER  
CLIENT: THE YOUNG GROUP

REV	ISSUE	DATE	APPROVAL
D	PLANNING APPROVAL	8/05/2024	NM
C	PLANNING APPROVAL	23/04/2024	NM
B	PLANNING APPROVAL	9/04/2024	0
A	PRELIMINARY	15/03/2024	0

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03 6234 8666  
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www.aldanmark.com.au

**ALDANMARK**  
CONSULTING ENGINEERS

PROJECT:	SCALE:	TOTAL SHEETS:	SIZE:
COVE HILL SUBDIVISION	1:250	10	A1
SEWER AND WATER PLAN - SHEET 2	24 E 99 - 38	SHEET:	C105
		REV:	D





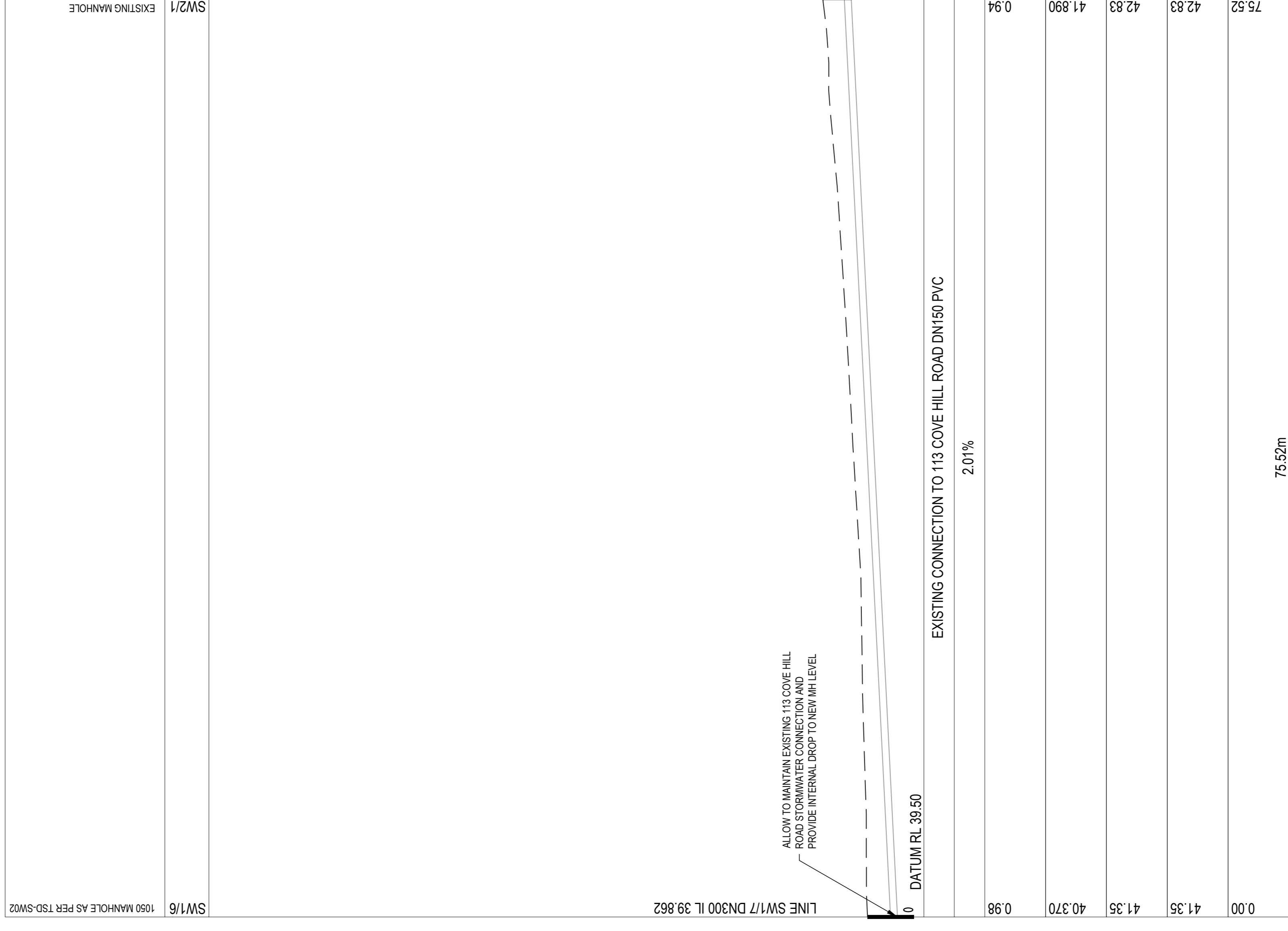
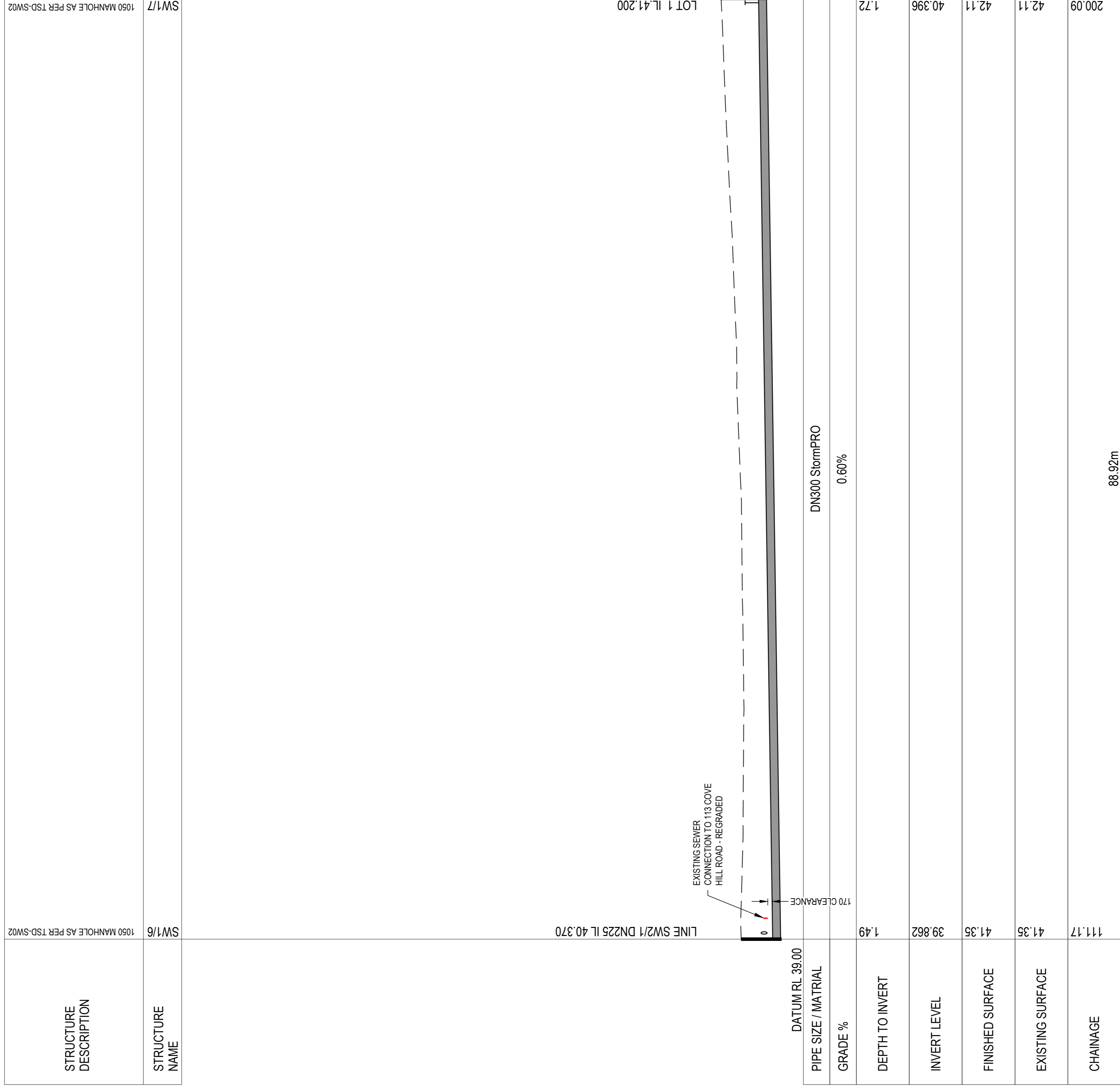


**NOTES**

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 THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.  
 BEWARE OF UNDERGROUND SERVICES.  
 THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVIDED ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

STRUCTURE DESCRIPTION	1050 MANHOLE AS PER TSD-SW02
STRUCTURE NAME	SW1/6

STRUCTURE NAME	SW1/6
STRUCTURE DESCRIPTION	1050 MANHOLE AS PER TSD-SW02
EXISTING MANHOLE	SW2/1



**SECTIONS 01**  
 SCALE: HORIZONTAL 1:250 VERTICAL 1:100

**DRAINAGE LONGITUDINAL SECTION FOR LINE SW1**  
 SCALES: HORIZONTAL 1:250 VERTICAL 1:100

**DRAINAGE LONGITUDINAL SECTION FOR LINE SW2**  
 SCALES: HORIZONTAL 1:250 VERTICAL 1:100

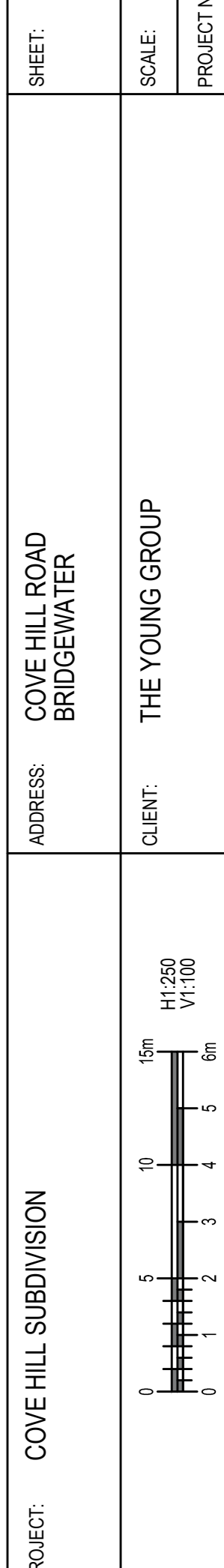
REV	ISSUE	APPROVAL	DATE	VERIFIED	CHECKED	DESIGN	DATE	DESIGNED	CHECKED	DATE	VERIFIED	CHECKED	DATE
A	PRELIMINARY		15/03/2024	0		9/04/2024	15/03/2024	0		23/04/2024	0		23/04/2024
B	PLANNING APPROVAL			0				0					
C	PLANNING APPROVAL			0				0					

PROJECT:	COVE HILL SUBDIVISION
ADDRESS:	COVE HILL ROAD BRIDGEWATER
CLIENT:	THE YOUNG GROUP

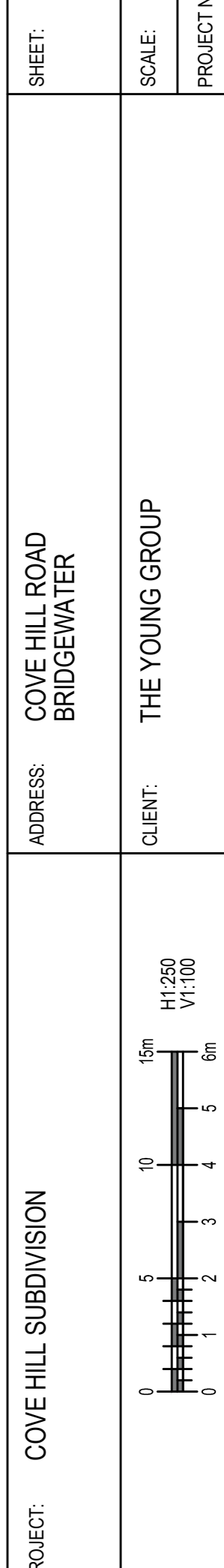
SCALE:	AS INDICATED	TOTAL SHEETS:	10	SIZE:	A1
PROJECT No:	24 E 99 - 38	SHEET:	C302	REV:	C

PROJECT:	COVE HILL SUBDIVISION
ADDRESS:	COVE HILL ROAD BRIDGEWATER
CLIENT:	THE YOUNG GROUP

SCALE:	AS INDICATED	TOTAL SHEETS:	10	SIZE:	A1
PROJECT No:	24 E 99 - 38	SHEET:	C302	REV:	C



Lower Ground  
 199 Macquarie Street  
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 mail@aldanmark.com.au  
 www.aldanmark.com.au

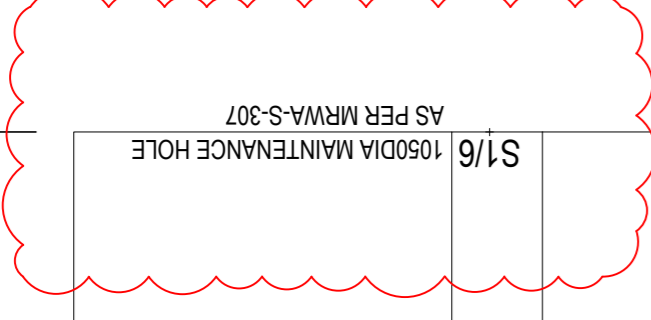


**NOTES**

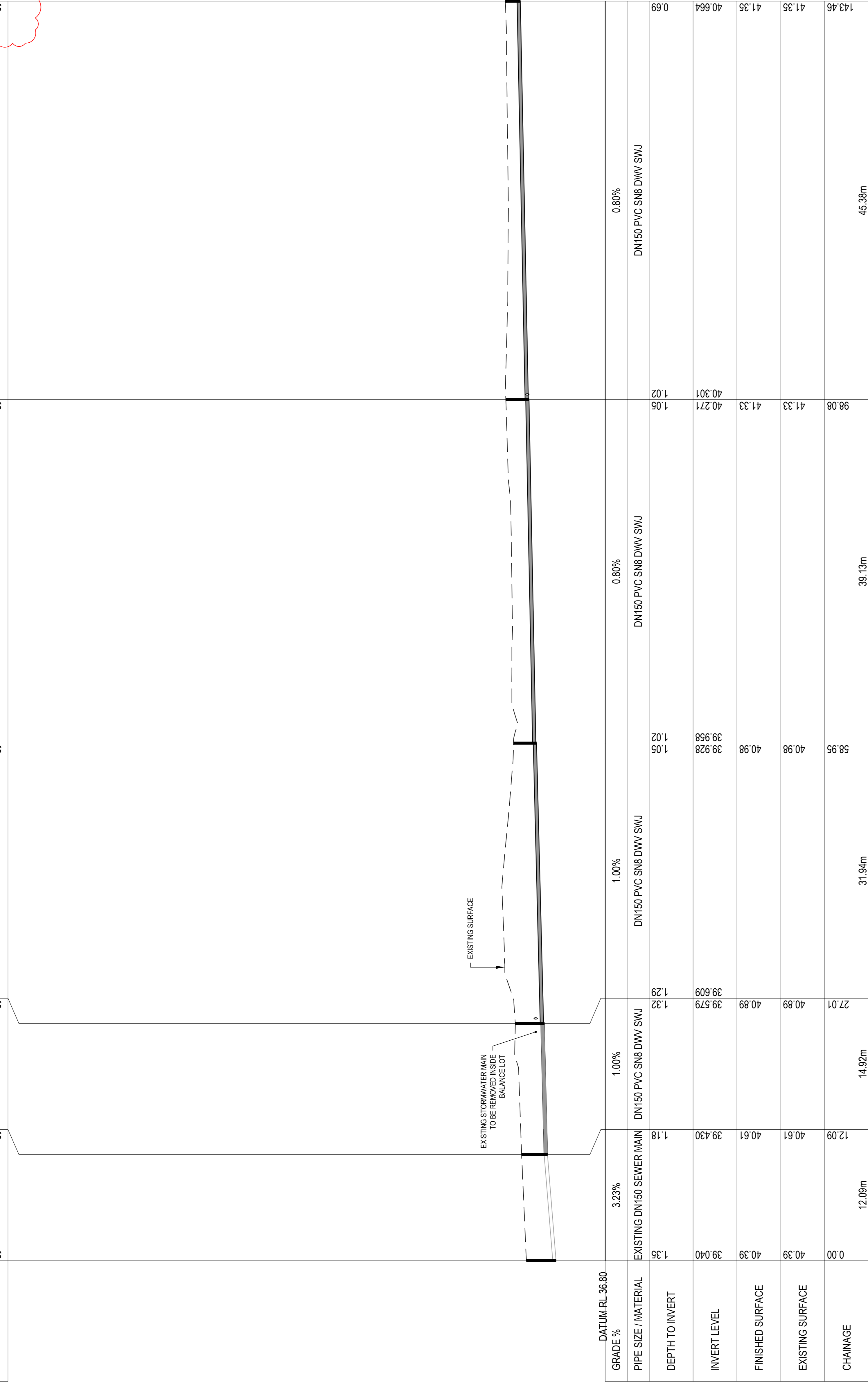
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 THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.  
 BEWARE OF UNDERGROUND SERVICES.  
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PROPOSED NEW TASMATER PUBLIC INFRASTRUCTURE

EXISTING TASMATER MAINS AND MANHOLES



STRUCTURE DESCRIPTION	S1/1 EXISTING SEWER MANHOLE	S1/2 EXISTING SEWER MANHOLE	S1/3 AS PER MRWA-S-307 1050DIA MAINTENANCE HOLE	S1/4 AS PER MRWA-S-307 1050DIA MAINTENANCE HOLE	S1/5 AS PER MRWA-S-307 1050DIA MAINTENANCE HOLE	S1/6 AS PER MRWA-S-307 1050DIA MAINTENANCE HOLE
STRUCTURE NAME	S1/1	S1/2	S1/3	S1/4	S1/5	S1/6



DATUM: RL 36.80						
GRADE %	3.23%	1.00%	1.00%	0.80%	0.80%	
PIPE SIZE / MATERIAL	EXISTING DN150 SEWER MAIN	DN150 PVC SN8 DN150 SWJ	DN150 PVC SN8 DN150 SWJ	DN150 PVC SN8 DN150 SWJ	DN150 PVC SN8 DN150 SWJ	
DEPTH TO INVERT	1.18	1.32	1.29	1.05	1.02	0.69
INVERT LEVEL	39.430	39.579	39.609	39.928	40.271	40.664
FINISHED SURFACE	40.39	40.61	40.89	40.98	41.33	41.35
EXISTING SURFACE	40.39	40.61	40.89	40.98	41.33	41.35
CHAINAGE	0.00	12.09m	27.01	58.95	98.08	143.46
			14.92m	31.94m	39.13m	45.38m

**SEWER LONGITUDINAL SECTION FOR LINE S1**  
 SCALES: HORIZONTAL 1:250 VERTICAL 1:100

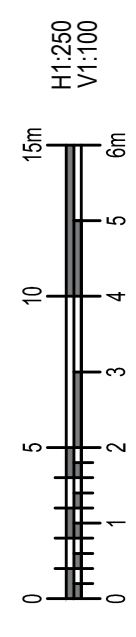
REV	ISSUE	DATE	APPROVAL
D	PLANNING APPROVAL	8/05/2024	NM
C	PLANNING APPROVAL	23/04/2024	NM
B	PLANNING APPROVAL	9/04/2024	NM
A	PRELIMINARY	15/03/2024	0

PROJECT:	COVE HILL SUBDIVISION
ADDRESS:	COVE HILL ROAD BRIDGEMATER
CLIENT:	THE YOUNG GROUP

SHEET:	SEWER LONG SECTIONS - SHEET 1
SCALE:	AS INDICATED
TOTAL SHEETS:	10
SIZE:	A1
PROJECT No:	24 E 99 - 38
SHEET:	C303
REV:	D

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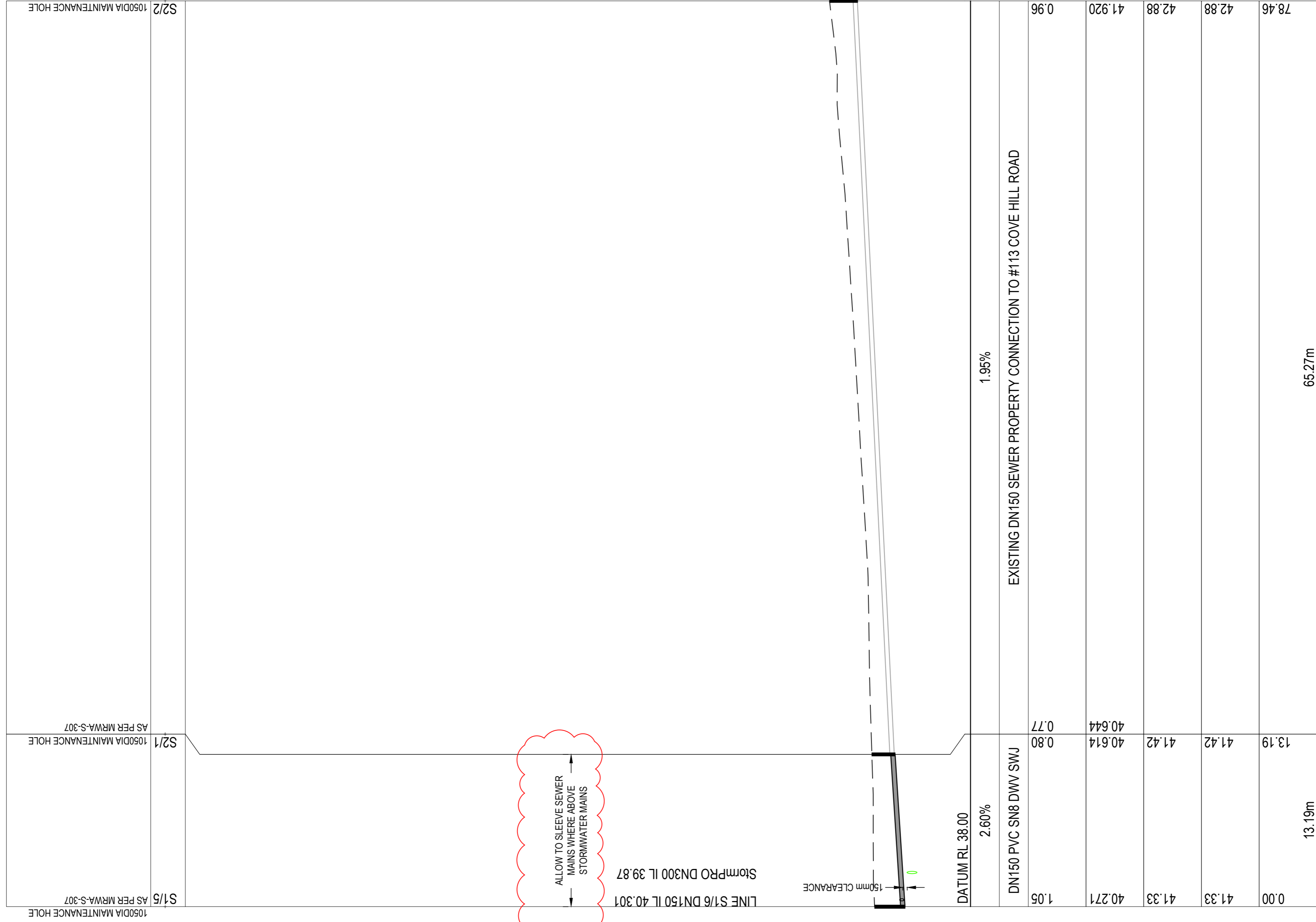
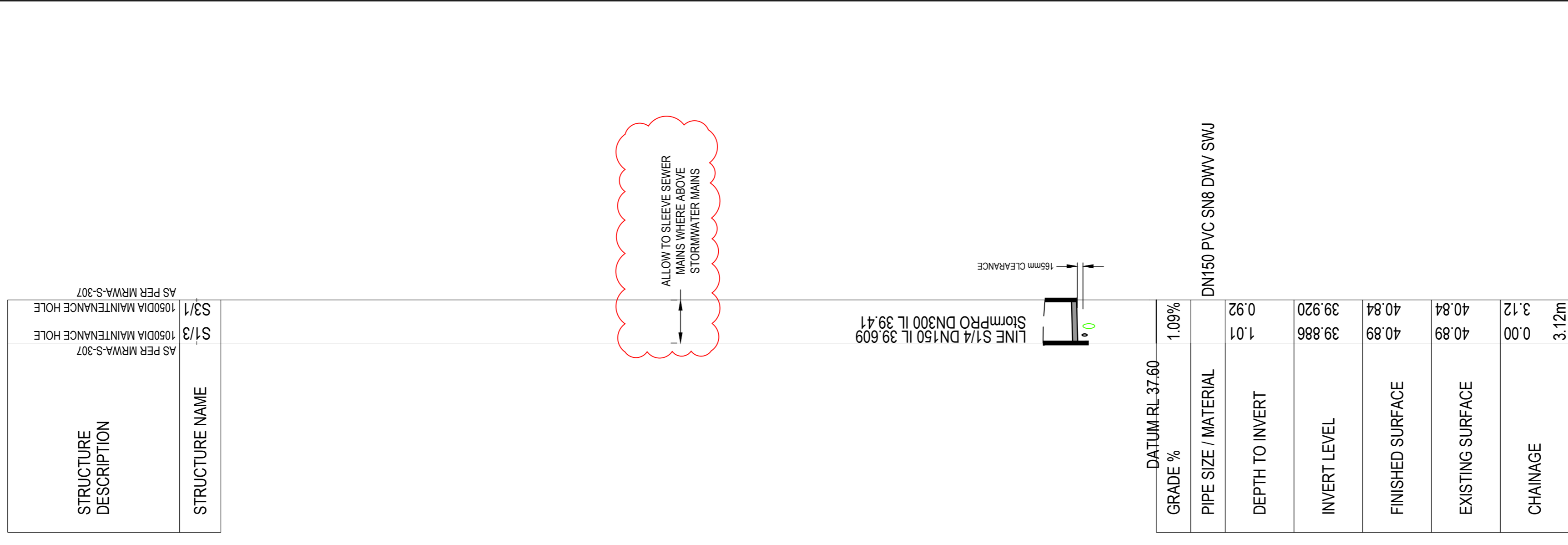


**NOTES**

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STRUCTURE DESCRIPTION	S1/6 AS PER MRWA-S-307
STRUCTURE NAME	S1/7 1050DIA MAINTENANCE HOLE AS PER MRWA-S-307

STRUCTURE DESCRIPTION	S1/5 AS PER MRWA-S-307
STRUCTURE NAME	S2/1 1050DIA MAINTENANCE HOLE AS PER MRWA-S-307
STRUCTURE DESCRIPTION	S2/2 1050DIA MAINTENANCE HOLE AS PER MRWA-S-307
STRUCTURE NAME	S3/1 1050DIA MAINTENANCE HOLE AS PER MRWA-S-307
STRUCTURE DESCRIPTION	S3/3 1050DIA MAINTENANCE HOLE AS PER MRWA-S-307



DATUM RL 38.40	143.46
GRADE %	1.00%
PIPE SIZE / MATERIAL	DN150 PVC SN8 DWV SWJ
DEPTH TO INVERT	0.66
INVERT LEVEL	40.694
FINISHED SURFACE	41.35
EXISTING SURFACE	41.35
CHAINAGE	45.38m
INVERT LEVEL	41.148
FINISHED SURFACE	42.12
EXISTING SURFACE	42.12
DEPTH TO INVERT	0.97
PIPE SIZE / MATERIAL	DN150 PVC SN8 DWV SWJ
GRADE %	1.95%
DATUM RL 38.00	13.19m
EXISTING DN150 SEWER PROPERTY CONNECTION TO #113 COVE HILL ROAD	0.96
DEPTH TO INVERT	0.80
INVERT LEVEL	40.614
FINISHED SURFACE	41.42
EXISTING SURFACE	41.42
CHAINAGE	65.27m
INVERT LEVEL	40.644
FINISHED SURFACE	42.88
EXISTING SURFACE	42.88
DEPTH TO INVERT	0.77
PIPE SIZE / MATERIAL	DN150 PVC SN8 DWV SWJ
GRADE %	1.09%
DATUM RL 37.60	3.12m
EXISTING DN150 SEWER PROPERTY CONNECTION TO #113 COVE HILL ROAD	0.92
DEPTH TO INVERT	1.01
INVERT LEVEL	39.886
FINISHED SURFACE	40.84
EXISTING SURFACE	40.84
CHAINAGE	3.12m
INVERT LEVEL	39.920
FINISHED SURFACE	40.84
EXISTING SURFACE	40.84
DEPTH TO INVERT	0.92
PIPE SIZE / MATERIAL	DN150 PVC SN8 DWV SWJ
GRADE %	1.09%
DATUM RL 37.60	3.12m

**SEWER LONGITUDINAL SECTION FOR LINE S1**

**SEWER LONGITUDINAL SECTION FOR LINE S2**

**SEWER LONGITUDINAL SECTION FOR LINE S3**

REV	ISSUE	APPROVAL	DATE	VERIFIED	0
A	PRELIMINARY		15/03/2024	VERIFIED:	0
B	PLANNING APPROVAL		23/04/2024	CHECKED:	0
C	PLANNING APPROVAL		8/05/2024	DESIGN:	NM
				CHECKED:	0
				DESIGN:	NM
				CHECKED:	0
				DESIGN:	NM

PROJECT: COVE HILL SUBDIVISION  
 ADDRESS: COVE HILL ROAD BRIDGEWATER  
 CLIENT: THE YOUNG GROUP  
 PROJECT No: 24 E 99 - 38  
 SHEET: C304  
 TOTAL SHEETS: 10  
 SIZE: A1  
 REV: C

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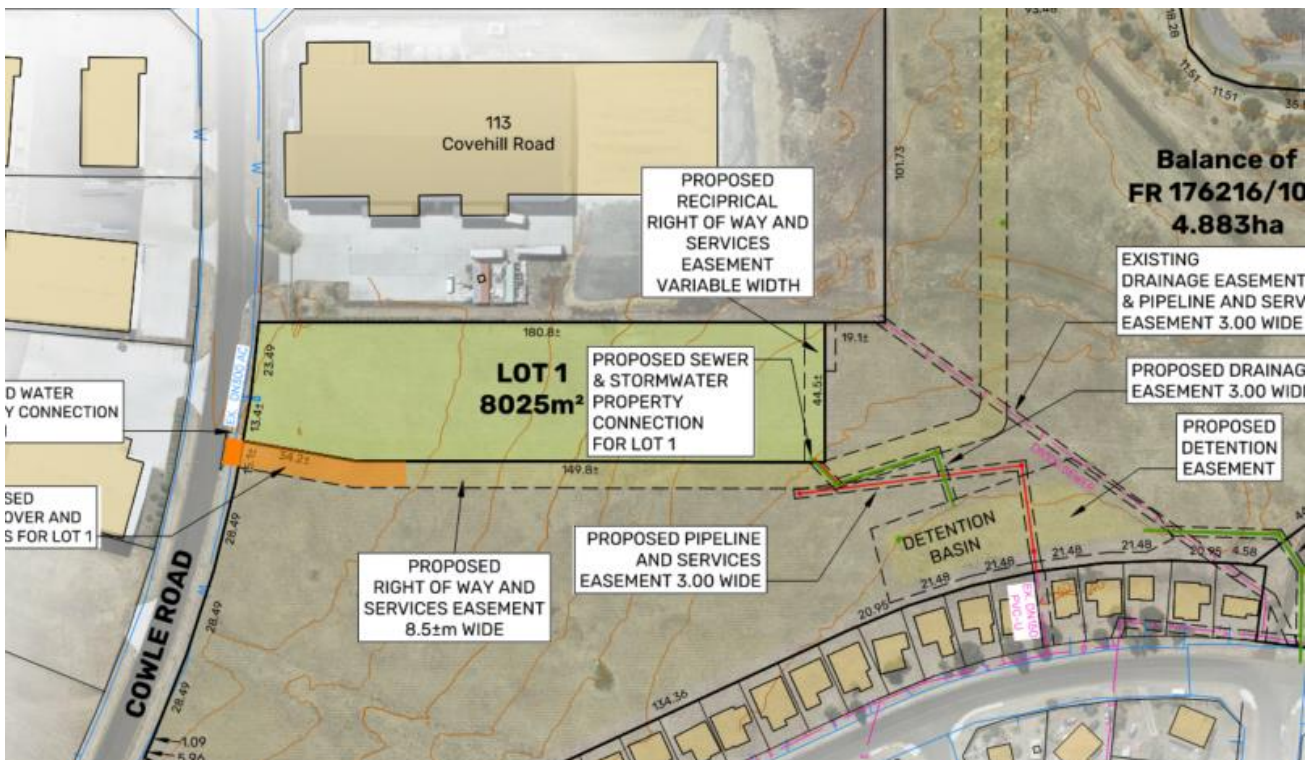
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SEWER LONGITUDINAL SECTION FOR LINE S1  
 SCALES: HORIZONTAL 1:250 VERTICAL 1:100

SEWER LONGITUDINAL SECTION FOR LINE S2  
 SCALES: HORIZONTAL 1:250 VERTICAL 1:100

SEWER LONGITUDINAL SECTION FOR LINE S3  
 SCALES: HORIZONTAL 1:250 VERTICAL 1:100

**PLANNING REPORT**  
**1 LOT SUBDIVISION**  
**115 COVE HILL ROAD, BRIDGEWATER**



Author: Lisa Balding

Date 31 January 2023

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### Appendixes:

- 1 Certificate of Titles
- 2 Subdivision plan
- 3 Civil Engineering plans
- 4 Stormwater report
- 5 Bushfire Hazard Management Plan

## 1. Introduction

The proposal is for a 1 lot subdivision at 115 Cove Hill Road, Bridgewater.

The report is accompanied by the following documents:

- Certificate of Title and registered agreements;
- Subdivision plan prepared by PDA Surveyors;
- Stormwater report and plans prepared by ADG;
- Bushfire Hazard Management Plan prepared by James Rogerson;
- RFI response prepared by Aldanmark.

### 1.1 Site and surrounds

The site is located at 115 Cove Hill Road, Bridgewater and has frontage to Cove Hill Road and Cowle Road. The site is generally cleared with an existing landscaped buffer located along the southern boundary adjoining the residential properties. The surrounding area consists generally of residential properties to the south, commercial/industrial properties to the west and north and the Brighton Council owned waste transfer station to the east. Adjoining the site to the north is an industrial site containing a manufacturing facility, Polyfoam, and approximately 700m north of the site is located the Bridgewater Quarry.



Figure 1: Location plan (Source: LISTmap)

The site is comprised within the following titles:

Title reference	Address	Area	Owner
CT 176216/103	115 Cove Hill Road, Bridgewater	5.683ha	Cove Hill Road Pty Ltd
CT 7884/1368	Road lot	1128m <sup>2</sup>	Brighton Council

The site has existing planning approval for 41 warehouse tenancies, 2 trade or hardware supplier tenancies and 1 amenities building (DA2022/194-AM1).

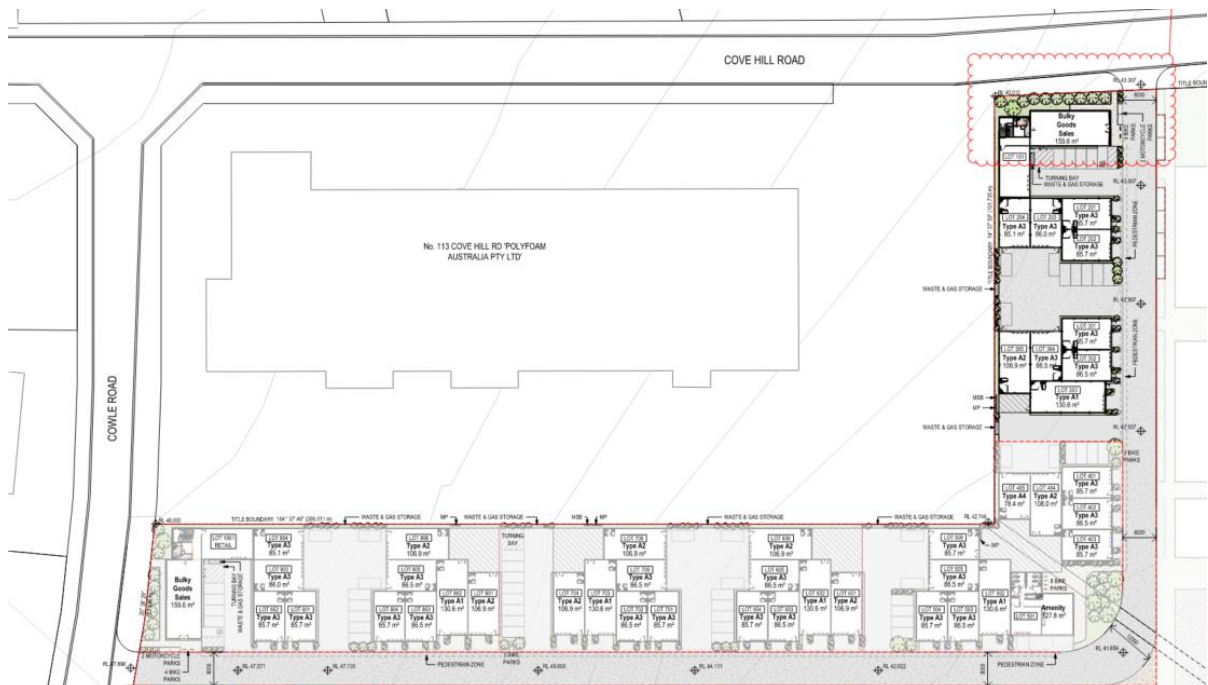


Figure 2: Approved Stage 1

## 2 Proposal

The proposal is for 1 lot subdivision to create one lot of 8025m<sup>2</sup> in area and a balance lot of 4.883ha. Access for both lots is proposed to be via Cowle Road with a right of way over the balance lot in favour of Lot 1.

Each lot will be provided with separate service connections and an on-site stormwater management system is proposed to service Lot 1 and the future development on the balance lot.



### 3 Planning Scheme

#### 3.1 Summary

<b>Zone</b>	
Light Industrial	
<b>Code</b>	<b>Applicable/Exempt/Not applicable</b>
Signs Code	N/A
Parking and Sustainable Transport Code	Applies
Road and Railway Assets Code	N/A
Electricity Transmission Infrastructure Protection Code	N/A
Telecommunications Code	N/A
Local Historic Heritage Code	N/A
Natural Assets Code	N/A
Scenic Protection Code	N/A
Attenuation Code	Applies
Coastal Erosion Hazard Code	N/A
Coastal Inundation Hazard Code	N/A
Flood-Prone Areas Code	N/A
Bushfire-Prone Areas Code	Applies
Potentially Contaminated Land Code	Exempt
Landslip Hazard Code	N/A
Safeguarding of Airports Code	N/A

The site is also subject to the following Specific Area Plans in the Brighton Local Provision Schedule:

Bridgewater Quarry Specific Area Plan	Applies
Brighton Industrial Hub Specific Area Plan	N/A

### 3.2 Zone

The site is zoned Light Industrial under the Tasmanian Planning Scheme – Brighton.



Figure 2: Zone (Source: LISTmap)

*The purpose of the Light Industrial Zone is:*

*18.1.1 To provide for manufacturing, processing, repair, storage and distribution of goods and materials where off site impacts are minimal or can be managed to minimise conflict with, or unreasonable loss of amenity to, any other uses.*

*18.1.2 To provide for use or development that supports and does not adversely impact on industrial activity.*

The proposed subdivision will facilitate industrial development and therefore is consistent with the zone purpose.

### 3.3 Subdivision standards

#### 18.5.1 Lot Design

Development standard	Assessment
<p><i>A1</i></p> <p><i>Each lot, or a lot proposed in a plan of subdivision, must:</i></p> <p><i>(a) have an area of not less than 1000m<sup>2</sup> and:</i></p> <p><i>(i) be able to contain a minimum area of 15m x 20m clear of:</i></p> <p><i>a. all setbacks required by Clause 18.4.2 A1 and A2; and</i></p> <p><i>b. easements or other title restrictions that limit or restrict development; and</i></p> <p><i>(ii) existing buildings are consistent with the setback required by Clause 18.4.2 A1 and A2;</i></p> <p><i>(b) be required for public use by the Crown, a council or a State authority;</i></p> <p><i>(c) be required for the provision of Utilities; or</i></p> <p><i>(d) be for the consolidation of a lot with another lot provided each lot is within the same zone</i></p>	<p>Complies.</p> <p>Complies.</p> <p>Complies.</p> <p>N/A</p> <p>N/A</p> <p>N/A</p>
<p><i>A2</i></p> <p><i>Each lot, or a lot proposed in a plan of subdivision, must have a frontage of not less than 20m.</i></p>	<p>Complies.</p>
<p><i>A3</i></p> <p><i>Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.</i></p>	<p>Each lot will be provided with an access in accordance with Council standards.</p>

### 18.5.2 Services

Development standard	Assessment
<p>A1</p> <p><i>Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must:</i></p> <p><i>(a) be connected to a full water supply service if the frontage of the lot is within 30m of a full water supply service; or</i></p> <p><i>(b) be connected to a limited water supply service if the frontage of the lot is within 30m of a limited water supply service, unless a regulated entity advises that the lot is unable to be connected to the relevant water supply service.</i></p>	<p>Complies.</p> <p>N/A</p>
<p>A2</p> <p><i>Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a reticulated sewerage system.</i></p>	<p>Complies.</p>
<p>A3</p> <p><i>Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be capable of connecting to a public stormwater system.</i></p>	<p>Complies.</p>

### 3.4 Bushfire-Prone Areas Code

A Bushfire Management Plan will be provided which will address all relevant requirements of the Code.

### 3.5 Attenuation Code

#### C9.6.1 Lot Design

Development standard	Assessment
<p><i>A1</i></p> <p><i>Each lot, or a lot proposed in a plan of subdivision, within an attenuation area must:</i></p> <p><i>(a) be for the creation of separate lots for existing buildings;</i></p> <p><i>(b) be for the creation of a lot where a building for a sensitive use can be located entirely outside the attenuation area; or</i></p> <p><i>(c) not be for the creation of a lot intended for a sensitive use.</i></p>	<p>N/A as the site is vacant.</p> <p>N/A</p> <p>Complies as the resultant lots are not intended to be used for a sensitive use.</p>

### 3.6 Bridgewater Quarry Specific Area Plan

The requirements of the Bridgewater Quarry Specific Area Plan are in addition to Clause 9.0 of the Attenuation Code.

#### BRI-S8.1 Subdivision within Bridgewater Quarry Specific Area Plan

Development standard	Assessment
<p><i>A1</i></p> <p><i>No Acceptable Solution.</i></p>	<p>The proposal cannot meet A1 so must be assessed against P1.</p>
<p><i>P1</i></p> <p><i>Each lot, or a lot proposed in a plan of subdivision, must not result in potential to interfere or conflict with quarry operations having regard to:</i></p> <p><i>(a) the nature of the quarry; including:</i></p> <p><i>(i) operational characteristics;</i></p>	<p>The proposed development is located within an existing industrial area, and it is considered that proposed lots will not result in the potential to interfere</p>

<p><i>(ii) scale and intensity;</i></p> <p><i>(iii) degree of hazard or pollution that may be emitted from the activity;</i></p> <p><i>(b) the future use and development of the lot; and</i></p> <p><i>(c) any advice from the Bridgewater Quarry operator.</i></p>	<p>or conflict with the quarry operations.</p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------

#### **4 Conclusion**

The proposal is for a 1 lot subdivision and balance. The proposal is considered to meet all relevant provisions of the planning scheme and should be granted a permit.

# **BUSHFIRE ASSESSMENT REPORT**

*Proposed Two Lot Subdivision*

*Address: 115 Cove Hill Road, Bridgewater TAS 7030*

Title Reference: C.T.176216/103



Prepared by James Rogerson (of *JR Bushfire Assessments*), Bushfire Hazard Practitioner (BFP-161)

VERSION – 1.0

Date: 20/02/2024

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**Disclaimer:** The information contained within this report is based on the instructions of AS 3959-2018 the standard states that “Although this Standard is designed to improve the performance of building when subjected to bushfire attack in a designated bushfire-prone area there can be no guarantee that a building will survive a bushfire event of every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire and extreme weather conditions.” (Standards Australia Limited, 2011)



## INTRODUCTION

### 1.1 Background

This Bushfire Assessment Report and associated Bushfire Hazard Management Plan (BHMP) has been prepared by James Rogerson of JR Bushfire Assessments (for Rogerson and Birch Surveyors) on behalf of the proponent to form part of supporting documentation for the proposed two lot subdivision of 115 Cove Hill Road, Bridgewater. Under the Tasmanian Planning Scheme – Brighton (TPS) and C13.0 Bushfire-Prone Areas Code it is a requirement that a subdivision application within a bushfire-prone area must accomplish a minimum Bushfire Attack Level (BAL) rating of BAL-19 for all future dwellings on newly formed allotments. This report also includes an associated BHMP which is also a requirement under C13.0.

The proposed development is within a Bushfire-Prone Area overlay and there is bushfire-prone vegetation within 100m from the site. Therefore, this site is within a bushfire-prone area.

### 1.2 Scope

This Bushfire Report offers an investigation and assessment of the bushfire risk to establish the level of bushfire threat and vulnerability on the land for the purpose of subdivision. This report includes the following:

- A description of the land and adjacent land, and description of the use or development that may be at threat by a bushfire on the subject site;
- Calculates the level of a bushfire threat and offers opinions for bushfire mitigation measures that are consistent with AS3959:2018 and C13.0.
- Subdivision Proposal Plan (Appendix B)
- Bushfire Hazard Management Plan (Appendix C)
- Planning Certificate (Appendix D)

### 1.3 Scope of BFP Accreditation

I, James Rogerson am an accredited Bushfire Practitioner (BFP-161) to assess bushfire hazards and endorse BHMP's under the the *Chief Officers Scheme for the Accreditation of Bushfire Hazard Practitioners*. I have successfully completed the *Planning for Bushfire Prone Areas Short Course* at University of Technology Sydney.

## 1.4 Limitations

The site assessment has been conducted and report written on the understanding that:

- The report only deals with the potential bushfire risk, all other statutory assessments are outside the scope of this report;
- The report only classifies the size, volume and status of the vegetation at the time the site assessment was conducted;
- Impacts on future development and vegetation growth have not been considered in this report. No action or reliance is to be placed on this report, other than which it was commissioned.

## 1.5 Proposal

The proposal is for the subdivision of the current title C.T.176216/103 into 2 resultant titles. See proposal plan (Appendix B).

# 2 PRE-FIELD ASSESSMENT

## 2.1 Site Details

*Table 1*

<b>Owner Name(s)</b>	Cove Hill Road Pty Ltd
<b>Location</b>	115 Cove Hill Road, Bridgewater TAS 7030
<b>Title Reference</b>	C.T.176216/103
<b>Property ID</b>	9945127
<b>Municipality</b>	Brighton
<b>Zoning</b>	18 Light Industrial
<b>Planning Overlays</b>	13 – Bushfire-prone Areas Code and 9 Attenuation Code.
<b>Water Supply for Firefighting</b>	The property is serviced by reticulated water. There are various hydrants located on Cove Hill Road and Cowle Road.
<b>Public Access</b>	Access to the development is off Cove Hill Road and Cowle Road.
<b>Fire History</b>	Record fires ~300m east and south of the property from 2012-2013.
<b>Existing Development</b>	Nil

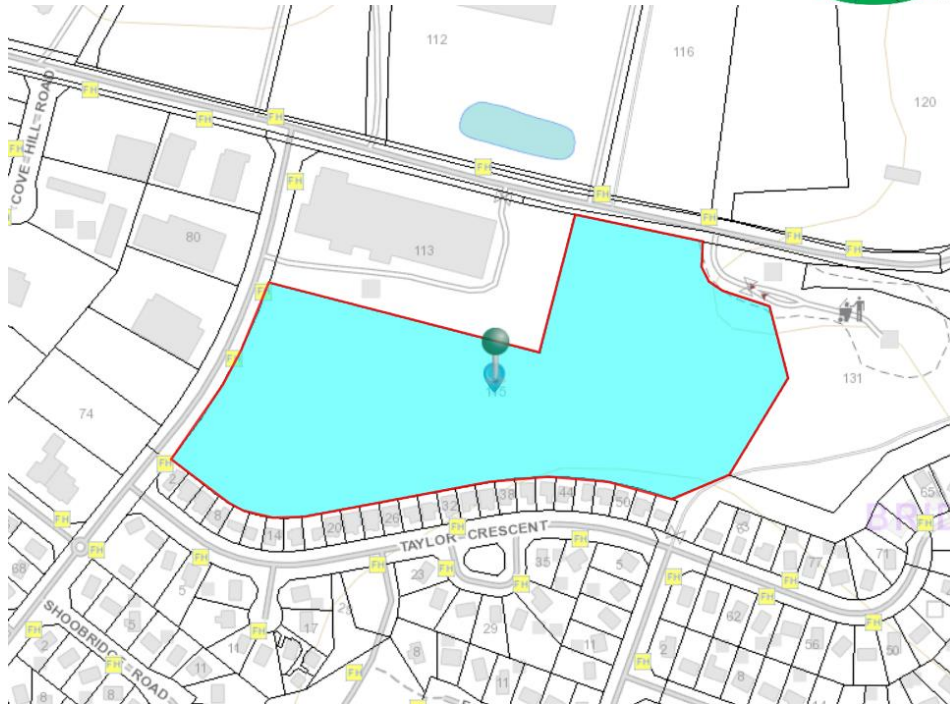


Figure 1 - Location of subject site and nearby hydrants. Source: The LIST, © State of Tasmania

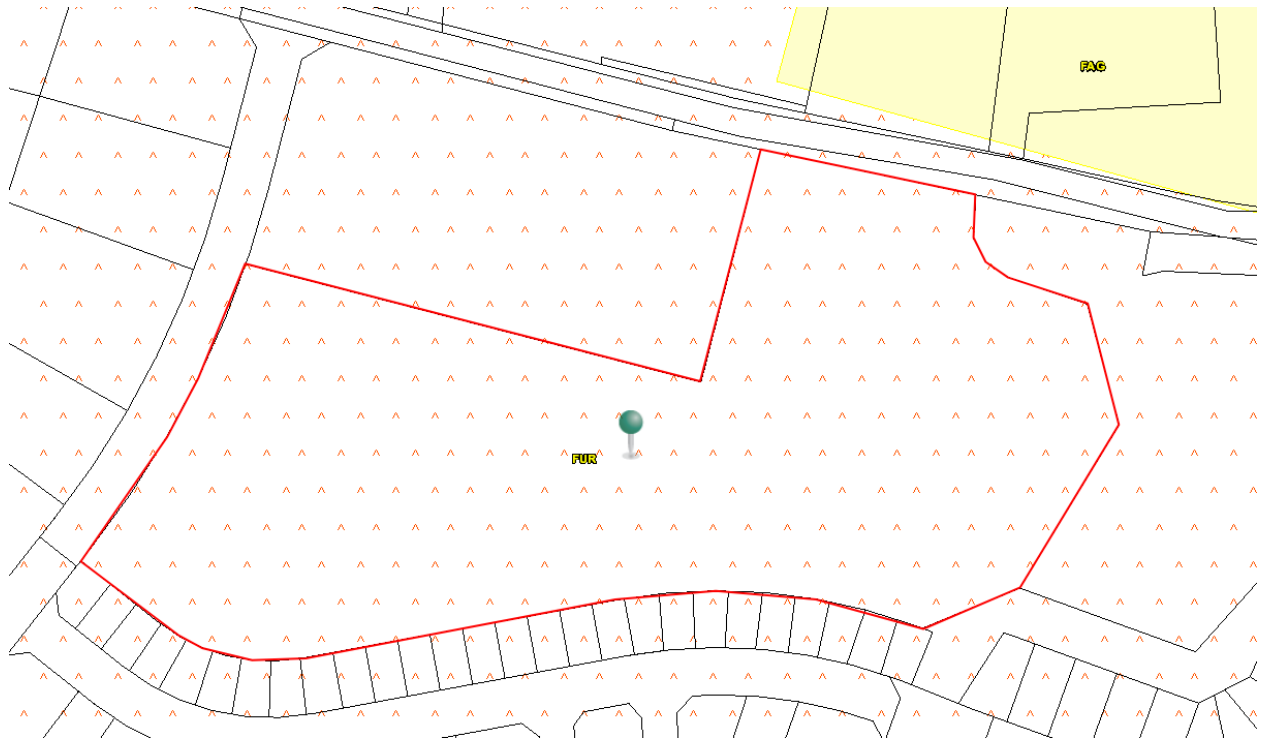


Figure 2 - Planning Scheme Zoning of site and surrounding properties. Source: The LIST, © State of Tasmania

## 2.2 TasVeg 4.0

There is 1 classified vegetation community on the subject site, and 1 additional community on the surrounding land and parcels. Figure 3 below shows the classified vegetation from TASVEG4.0 (Source: The LIST).

Please note that TASVEG4.0 classification does not necessarily reflect ground conditions.



**Figure 3 - TASVEG4.0 communities on subject site and surrounding land. FUR – Urban areas, FAG – Agricultural land**

## 3 SITE ASSESSMENT

The site assessment was conducted by James Rogerson (BFP-161) on the 5<sup>th</sup> of February 2024.

### 3.1 Bushfire Hazard Assessment

C13.0 Bushfire Prone Areas Code defines Bushfire-prone areas as follows;

- a) Land that is within the boundary of a bushfire-prone area shown on an overlay on a planning scheme map; or*
- b) Where there is no overlay on a planning scheme map, or where the land is outside the boundary of a bushfire-prone area shown on such map, land that is within 100m of an area of bushfire –prone vegetation equal or greater than 1ha.*

The subject site is within a bushfire-prone areas overlay for the TPS, and the subject site is within 100m of an area of bushfire-prone vegetation equal or greater than 1ha. Therefore, this proposed subdivision is within a bushfire-prone area as per the TPS.

For the purposes of the BAL Assessment, vegetation within 100m of the proposed subdivision site was assessed and classified in accordance with AS3959:2018 Simplified Procedure (Method 1) (relevant fire danger index: 50-which applies across Tasmania).

## BUSHFIRE THREAT DIRECTION

The Bushfire threat to this development is from the **GRASSLAND FUEL** within the property. Additional threat is also from Grassland east of the property.

**Prevailing Winds:** The prevailing winds for this site are primarily westerly, north westerly.

## 3.2 Vegetation and Effective Slope

Vegetation and relevant effective slopes within 100m of the proposed subdivision have been inspected and classified in accordance with AS 3959:2018. Effective Slope refers to the slope of the land underneath the classified bushfire-prone vegetation relative to the building site and not the slope between the vegetation and the building site. The effective slope affects a fires rate of spread and flame length and is an acute aspect of bushfire behaviour.

## WITHIN THE TITLE BOUNDARY (BDY) & PROPERTY DESCRIPTION

The property is a large sized, vacant, Light Industrial zoned property that is located at the northeast corner of the suburb Bridgewater. The property is accessed via Cove Hill Road or Cowle Road. The property is oriented north-south and is located adjacent to the Brighton Waste Transfer Station. The property is surrounded by developed residential and industrial properties and the terrain within the property is gentle, sloping slightly in an easterly aspect. The property consists of various temporary work sheds for storage within a fenced off area and various all-weather access tracks. (See Figure 4 for slopes).

The land within the closed off fenced compound is managed, due to regular personnel access and vehicle use and is therefore classed as **MANAGED LAND** or **LOW THREAT VEGETATION** per Clause 2.2.3.2 (e)(f) of AS3959:2018. The remainder of the property is grassed, appearing (\*predominantly) as unmanaged, due to the size and minimal land use, therefore, at present the land is classed as **GRASSLAND** per Table 2.3 of AS3959:2018.

\*Some areas of the grass have been disturbed for future civil works and existing gardens, and these areas are classed as **MANAGED LAND** or **LOW THREAT VEGETATION** per Clause 2.2.3.2 (f) of AS3959:2018.

## **NORTH OF THE TITLE BDY**

To the north of the property (across slope) are various medium and large sized, developed, Light and General Industrial properties, that consist of existing large warehouse buildings and Class 10a sheds. The land directly surrounding the warehouses and sheds is used as private open space (POS) and is therefore classed as MANAGED LAND or LOW THREAT VEGETATION per Clause 2.2.3.2 (e)(f) of AS3959:2018. The remainder of the properties is also managed land as it is used for vehicles, carparking and storage and is therefore classed as MANAGED LAND or LOW THREAT VEGETATION per Clause 2.2.3.2 (f) of AS3959:2018.

## **EAST OF THE TITLE BDY**

To the east of the property (downslope >0°-5°) is the Brighton Waste Transfer Station, which is a medium sized, developed, Light Industrial zoned property that consists of various Class 10a sheds, cultivated lawns and non-combustible areas. The land directly surrounding the sheds is used as private open space (POS) and is therefore classed as MANAGED LAND or LOW THREAT VEGETATION per Clause 2.2.3.2 (e)(f) of AS3959:2018. The remainder of the property is covered with pasture grass, appearing unmanaged due to minimal land use and is therefore classed as GROUP G GRASSLAND per Table 2.3 of AS3959:2018.

Additionally, to the east is a skinny strip of land (Lot 105 Taylor Crescent) owned by Brighton Council. This strip is zoned Light Industrial and is vacant, covered with grass and is therefore classed as GROUP G GRASSLAND per Table 2.3 of AS3959:2018.

## **SOUTH OF THE TITLE BDY**

To the south of the property (across slope) is various, small, developed, General Residential zoned residential properties that all consist of existing Class 1a dwellings, some consist of Class 10a sheds, and cultivated gardens and low-cut lawns. Due to the residential nature and the size of the properties they are all classed as MANAGED LAND or LOW THREAT VEGETATION per Clause 2.2.3.2 (e)(f) of AS3959:2018.

## **WEST OF THE TITLE BDY**

To the west of the property boundary (across slope) are various small and medium, Light Industrial and General Business zoned properties, that consist of warehouses and Class 10 sheds, cultivated gardens and non-combustible areas. Land directly surrounding the warehouses and sheds is used as private open space, as most of these properties and is therefore classed as MANAGED LAND or LOW THREAT VEGETATION per Clause 2.2.3.2 (e)(f) of AS3959:2018. There are some small portions of unmanaged grass on a few of the properties away from the buildings, these areas are therefore classed as GROUP G GRASSLAND per Table 2.3 of AS3958:2018.

Figure 4 below shows the relationship between the subject site and the surrounding vegetation.

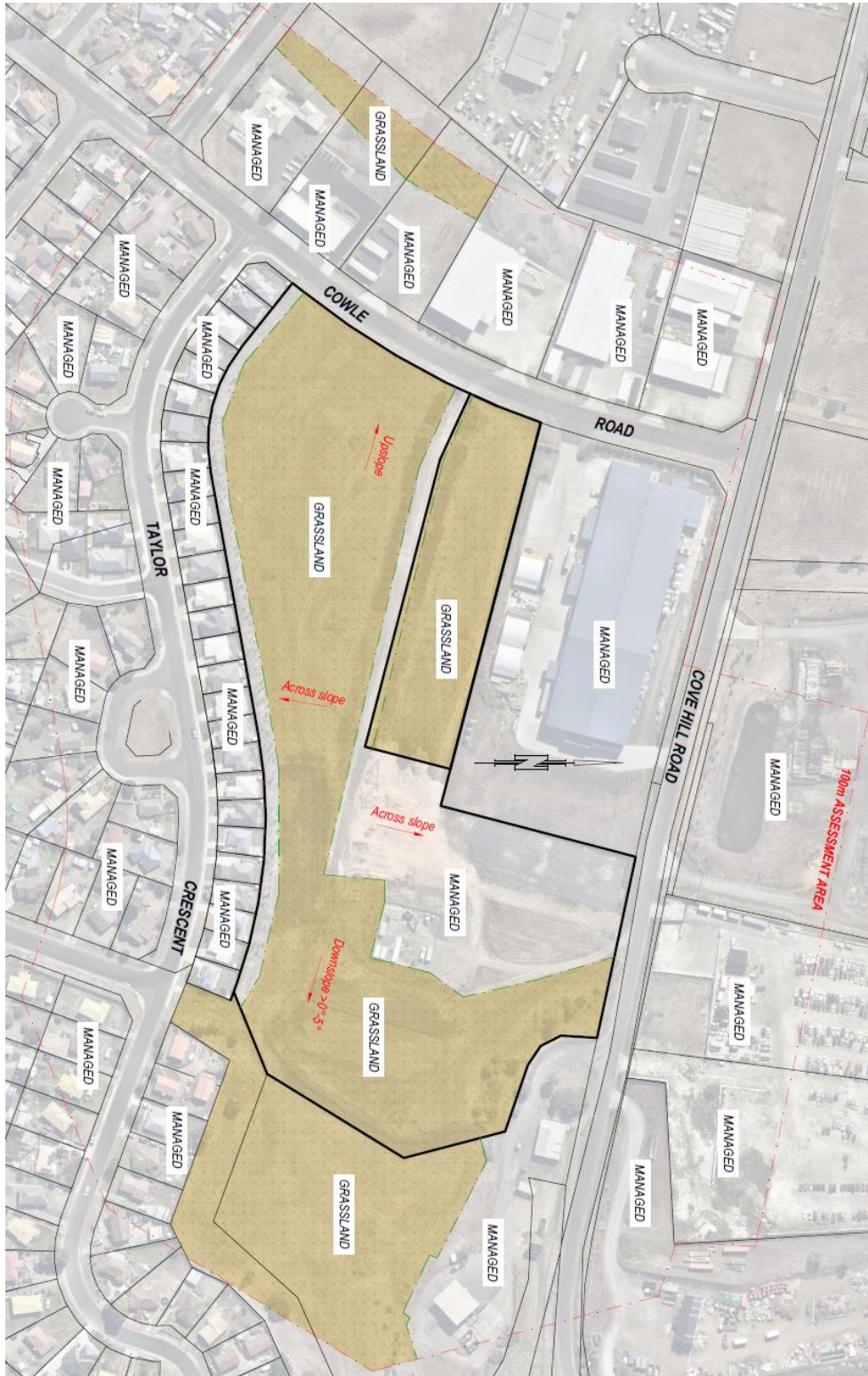


Figure 4 classified vegetation (within 100m of site) and existing separation from bushfire-prone vegetation (not to scale)

### 3.3 Bushfire Attack Level (BAL)

*Table 2 - BAL rating for each lot and required separation distances*

LOT 1 – VACANT (Indicative Building Area)				
DIRECTION OF SLOPE	N, NE	E, SE	S, SW	W, NW
Vegetation Classification	GRASSLAND MANAGED	GRASSLAND MANAGED	GRASSLAND MANAGED	GRASSLAND MANAGED
Existing Horizontal distance to classified vegetation	0m (G)	0m-60m (G)	0m (G)	0m (G)
Effective Slope under vegetation	Across slope	Downslope >0°-5°	Across slope	Upslope
Exemption				
Current BAL value for each side of the site	BAL-FZ	BAL-FZ	BAL-FZ	BAL-FZ
Separation distances to achieve BAL-19	10m	11m	10m	10m
Separation distances to achieve BAL-12.5	14m	16m	14m	14m
Current BAL rating	<b>BAL-FZ</b>			

BALANCE – VACANT (Indicative Building Area)				
DIRECTION OF SLOPE	N, NE	E, SE	S, SW	W, NW
Vegetation Classification	GRASSLAND MANAGED	GRASSLAND	GRASSLAND MANAGED	GRASSLAND MANAGED
Existing Horizontal distance to classified vegetation	0m (G)	0m-100m (G)	0m-84m (G)	0m (G)
Effective Slope under vegetation	Across slope	Downslope >0°-5°	Across slope	Upslope
Exemption				
Current BAL value for each side of the site	BAL-FZ	BAL-FZ	BAL-FZ	BAL-FZ
Separation distances to achieve BAL-19	10m	11m	10m	10m
Separation distances to achieve BAL-12.5	14m	16m	14m	14m
Current BAL rating	<b>BAL-FZ</b>			



### 3.4 Definition of BAL-LOW

Bushfire Attack Level shall be classified BAL-LOW per Section 2.2.3.2 of AS3959:2018 where the vegetation is one or a combination of any of the following Exemptions:

- a) Vegetation of any type that is more than 100m from the site.
- b) Single areas of vegetation less than 1 hectare in area and not within 100m of other areas of vegetation being classified.
- c) Multiple areas of vegetation less than 0.25 ha in area and not within 20m of the site, or each other.
- d) Strips of vegetation less than 20m in width (measured perpendicular to the elevation exposed to the strip of vegetation) regardless of length and not within 20m of the site or each other, or other areas of vegetation being classified.
- e) Non-vegetated areas, including waterways, roads, footpaths, buildings and rocky outcrops.
- f) Low threat vegetation, including grassland managed in a minimal fuel condition, maintained lawns, golf courses, maintained public reserves and parklands, vineyards, orchards, cultivated gardens, commercial nurseries, nature strips and windbreaks.

NOTE: Minimal fuel condition means there is insufficient fuel available to significantly increase the severity of the bushfire attack (recognizable as short-cropped grass for example, to a nominal height of 100mm).

The BAL level will also be classified as BAL-LOW if Grassland fuel is >50m from the site for any effective slope per Table 2.6 of AS3959:2018.

Due to some existing developed and managed land, some separations distances are already achieved.

Where there were multiple fuel classifications and effective slopes, the predominant fuel and slope have been used in the BAL table above.

BAL ratings are as stated below:

BAL LOW	BAL 12.5	BAL 19	BAL 29	BAL 40	BAL FZ
There is insufficient risk to warrant any specific construction requirements, but there is still some risk	Ember attack and radiant heat below 12.5 kW/m <sup>2</sup>	Increasing ember attack and windborne debris, radiant heat between 12.5 kW/m <sup>2</sup> and 19 kW/m <sup>2</sup>	Increasing ember attack and windborne debris, radiant heat between 19kW/m <sup>2</sup> and 29 kW/m <sup>2</sup>	Increasing ember attack and windborne debris, radiant heat between 29 kW/m <sup>2</sup> and 40 kW/m <sup>2</sup> . Exposure to flames from fire front likely	Direct Exposure to flames, radiant heat and embers from the fire front

## 4 BUSHFIRE PROTECTION MEASURES

### 4.1 Hazard Management Areas (HMA)

Hazard Management Area as described in the Code “maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire”. Also as described from Note 1 of AS3959:2018 Clause 2.2.3.2 “Minimal fuel condition means there is insufficient fuel available to significantly increase the severity of the bushfire attack (recognizable as short-cropped grass for example, to a nominal height of 100 mm)”.

#### Compliance to C13.6.1

The building areas within both lots require a Hazard Management Area (HMA) to be established and maintained between the bushfire vegetation and the area at a distance equal to, or greater than specified for the Bushfire Attack Level in Table 2.6 of AS3959:2018.

Due to the size of the lots, only the building areas require an HMA.

The HMA for both lots to be implemented prior to occupancy of a building.

Minimum separation distances for each lot are stated below.

LOT 1 – Separation Distances (Indicative Building Area)				
Aspect	N, NE	E, SE	S, SW	W, NW
BAL-19	10m	11m	10m	10m

BALANCE – Separation Distances (Indicative Building Area)				
Aspect	N, NE	E, SE	S, SW	W, NW
BAL-19	10m	11m	10m	10m

The Tasmanian Fire Service provides the following advice regarding the implementation and maintenance of Hazard management areas:

- Removing of fallen limbs, sticks, leaf and bark litter
- Maintaining grass at less than a 100mm height
- Removing pine bark and other flammable mulch (especially from against buildings)
- Thinning out understory vegetation to provide horizontal separation between fuels
- Pruning low-hanging tree branches (<2m from the ground) to provide vertical separation between fuel layers
- Pruning larger trees to maintain horizontal separation between canopies
- Minimize the storage of flammable materials such as firewood
- Maintaining vegetation clearance around vehicular access and water supply points
- Use of low-flammability species for landscaping purposes where appropriate
- Clearing out any accumulated leaf and other debris from roof gutters.

Additional site-specific fuel reduction or management may be required. An effective hazard management area does not require removal of all vegetation. Rather, vegetation must be designed and maintained in a way that limits opportunity for vertical and horizontal fire spread in the vicinity of the building being protected. Retaining some established trees can even be beneficial in terms of protecting the building from wind and ember attack

## 4.2 Public and Fire Fighting Access

### Public Access

The proposed development fronts Cowle Road and Cove Hill Road. Both public roads are bitumen sealed and are maintained by the Council. Cowle Road has a nominal carriageway width of 8.5m and Cove Hill Road has nominal carriageway width of 8.5m. No upgrades are required to the public roads and the public roads comply with public access road requirements.

### Property Access

#### Current Conditions:

#### Balance

The existing private access to the work compound within the Balance is an all-weather gravel access with an approximate length of 90m and a nominal width of 5m.



*Figure 5 – Existing access within the Balance*

## Compliance to C13.6.2

### Lot 1

Access to the building area within Lot 1 may or may not be <30m and access is not required for a fire appliance. Therefore, there are no design and construction, and the access will comply to Acceptable Solution A1 and C13.6.2.

### Balance

Access to the building area within the Balance may or may not be <30, and access is not required for a fire appliance. Therefore, there are no design or construction requirements, and the access will comply to Acceptable Solution A1 and C13.6.2.

## 4.3 Water Supply for Fire Fighting

### Current Conditions:

Site assessment confirmed the property is serviced by reticulated water. Various hydrants exist on Cowle Road and Cove Hill Road.



*Figure 6 – Existing hydrant (Cowle Road)*



*Figure 7 – Existing hydrant (Cove Hill Road)*

### **Compliance to C13.6.3**

#### Lot 1

The building area within Lot 1 is within 120m (hose lay) of the above-mentioned (Cowle Road) hydrant and is therefore compliant with C13.6.3 A1 (b) and Table C13.4.

#### Balance

The building area within the Balance within 120m (hose lay) of the above-mentioned (Cove Hill Road) hydrant and is therefore compliant with C13.6.3 A1 (b) and Table C13.4.

## **4.4 Construction Standards**

Future habitable dwellings/buildings within the specified building areas on each lot must be designed and constructed to the minimum BAL ratings specified in the BHMP (Appendix C) and to BAL construction standards in accordance with AS3959:2018 or subsequent edition as applicable at the time of building approval.

Future Class 10a buildings within 6m of a Class 1a dwelling must be constructed to the same BAL as the dwelling or provide fire separation in accordance with Clause 3.2.3 of AS3959:2018

## 5 STATUTORY COMPLIANCE

The applicable bushfire requirements are specified in State Planning Provisions C13.0 – Bushfire-Prone Areas Code.

Clause	Compliance
<b>C13.4 Use or development exempt from this code</b>	N/A
<b>C13.5 Use Standards</b>	
<b>C13.5.1 Vulnerable Uses</b>	N/A
<b>C13.5.2 Hazardous Uses</b>	N/A
<b>C13.6 Development Standards for Subdivision</b>	
<b>C13.6.1 Provision of Hazard Management Areas.</b>	<p>To comply with the Acceptable Solution A1, the proposed plan of subdivision must;</p> <ul style="list-style-type: none"> <li>• Show building areas for each lot; and</li> <li>• Show hazard management areas between these building areas and that of the bushfire vegetation with the separation distances required for BAL 19 in Table 2.6 of <i>Australian Standard AS 3959:2018 Construction of buildings in bushfire-prone areas.</i></li> </ul> <p>The BHMP demonstrates that both lots can accommodate a minimum BAL rating of BAL-19. The HMA for both lots to be implemented prior to occupancy of future habitable dwellings/buildings.</p> <p>Subject to the compliance with the BHMP the proposal will satisfy the Acceptable Solution C13.6.1(A1)</p>
<b>C13.6.2 Public and firefighting access; A1</b>	<p>The BHMP (through reference to section 4 of this report) specifies requirements for private accesses are consistent with Table C13.2. Existing access to the Balance is &gt;30m but accesses is not required for a fire appliance. Therefore, there are no specified design or construction requirements.</p> <p>Subject to the compliance with the BHMP the proposal satisfies the Acceptable Solution C13.6.2(A1).</p>
<b>C13.6.3 A2 Provision of water supply for firefighting purposes.</b>	<p>The building areas within both lots are within 120m (hose lay) of a hydrant. Therefore compliant with C.13.6.3.</p> <p>Subject to the compliance with the BHMP the proposal satisfies the Acceptable Solution C13.6.3</p>

## 6 CONCLUSION & RECOMMENDATIONS

The proposed subdivision is endorsed that each lot can meet the requirements of Tasmanian Planning Scheme – Brighton and C13.0 Bushfire-prone Areas Code for a maximum BAL rating of BAL-19. Providing compliance with measures outlined in the BHMP (Appendix C) and sections 4 & 5 of this report.

### Recommendations:

- The HMA's within the subdivision be applied in accordance with section 4.1 of this report and the BHMP (Appendix C).
- Brighton Council condition the planning approval on the compliance with the BHMP (as per Appendix C).

## 7 REFERENCES

Department of Primary Industries and Water, The LIST, viewed February 2024, [www.thelist.tas.gov.au](http://www.thelist.tas.gov.au)

Standards Australia, 2018, *AS 3959:2018 – Construction of buildings in bushfire-prone areas*, Standards Australia, Sydney.

Tasmanian Planning Commission, 2015, *Tasmanian Planning Scheme – Sorell* viewed February 2024, [www.iplan.tas.gov.au](http://www.iplan.tas.gov.au)

Building Act 2016. The State of Tasmania Department of Premier and Cabinet. <https://www.legislation.tas.gov.au/view/html/inforce/current/act-2016-025>

Building Regulations 2016. The State of Tasmania Department of Premier and Cabinet. <https://www.legislation.tas.gov.au/view/html/inforce/current/sr-2016-110>

## 8 APPENDIX A – SITE PHOTOS



*Figure 8 – Grassland fuel within Lot 1, view facing E, SE*



*Figure 9 – Grassland fuel within the Balance, view facing W, SW*





**Figure 10 – Managed land (future road) within the Balance, view facing E, SE**



**Figure 11 – Managed land (work compound) within the Balance, view facing E, SE**



*Figure 12 – Grassland fuel west of the property, view facing E*



*Figure 13 – Existing building and managed land (typical site in this area) west of the property, view facing W, SW*

## 9 APPENDIX B – SUBDIVISION PROPOSAL PLAN

# PLAN OF SUBDIVISION

Owners  
COVE HILL ROAD PTY LTD; BRIGHTON  
COUNCIL

Title References  
FR 176216/103; FR 177664/105

Address  
115 Cove Hill Road, Bridgewater;  
LOT 5 Taylor Crescent, Bridgewater

Council  
Brighton Council

Brighton Local Provisions Schedule

Zone  
18 Light Industrial

Zone Code and General Overlay  
9 Attenuation Code  
13 Bushfire-prone Areas Code

Brighton Industrial Hub  
Specific Area Plan  
Bridgewater Quarry  
Specific Area Plan

PID  
9945127

Point of interest GDA2020 MGA55  
520860E, 5268378N

Schedule of Easements  
Existing (SEE PLAN)  
Proposed (SEE PLAN)

## NOTES

This plan has been prepared only for the purpose of obtaining preliminary subdivision approval from the Council and the information shown hereon should be used for no other purpose. All measurements and areas are subject to final survey.

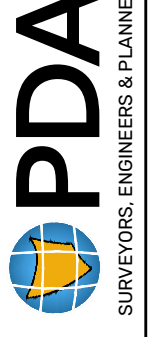
Entire site is subject to the Bushfire Code Overlay & Attenuation Code. These are not shown for plan clarity purpose.

LIST Cadastral Parcels by State of Tasmania  
www.theist.tas.gov.au  
CC BY 3.0

1.0m Contours:  
GreaterHobartLIDAR2013 DEM  
https://elevation.fsdf.org.au/  
CC BY 4.0

Digital Aerial Photo:  
Brighton 10CM 2019  
by State of Tasmania  
https://nre.tas.gov.au/  
land-tasmania/aerial-photography  
CC BY 3.0  
Modified by Vignette

SCALE	1:2000	PAPER	(A3)
JOB NUMBER		DRAWING	
		52176MS-P2B	



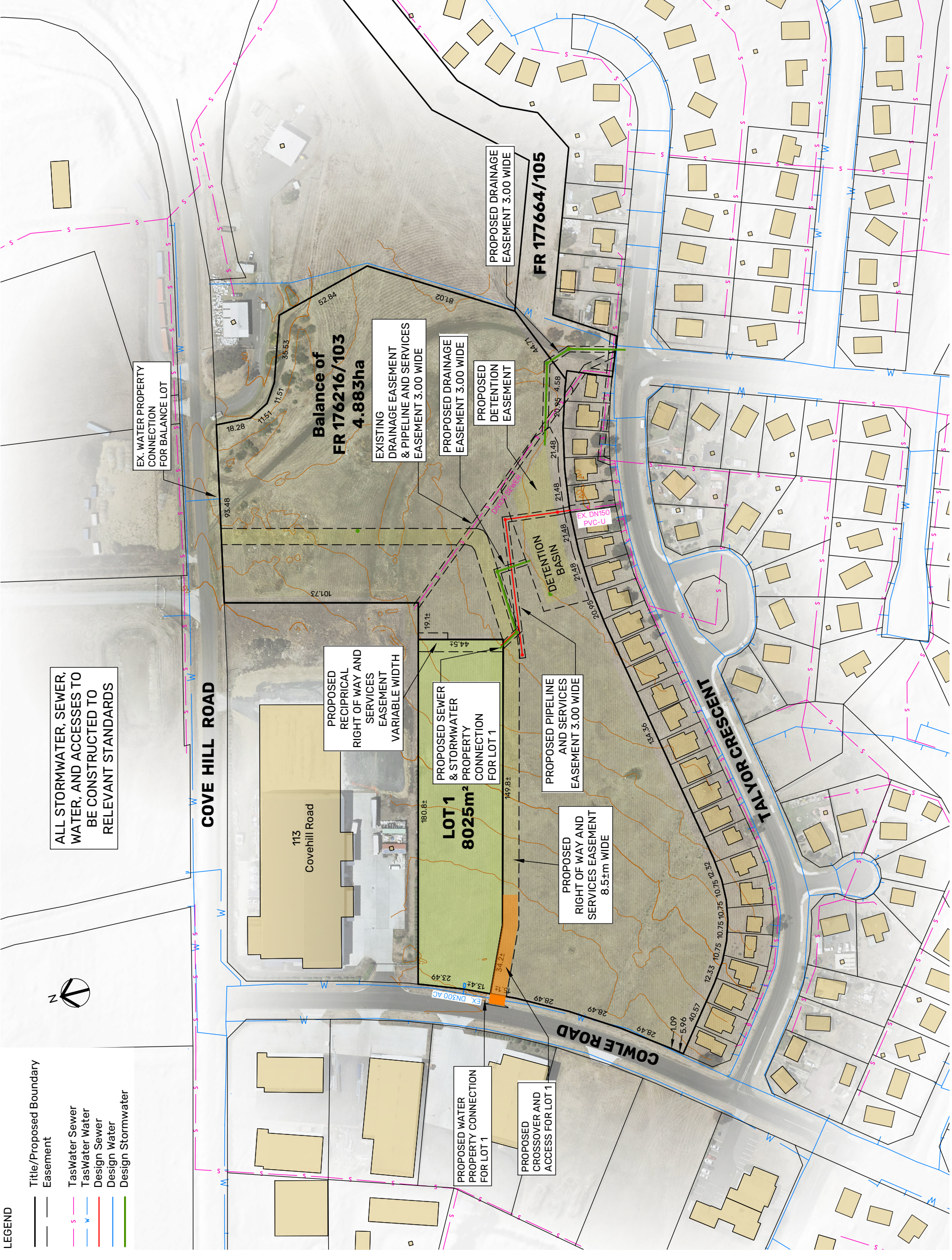
SURVEYORS, ENGINEERS & PLANNERS

## PLAN OF SUBDIVISION 115 COVEHILL ROAD, BRIDGEWATER for THE YOUNG GROUP

SURVEYOR	GEOCIVIL
DRAWN	CHECKED
MK	MS
DATE	9 JANUARY 2023

REV	DESCRIPTION	DATE	APPR.
0	DRAFT PLAN OF SUBDIVISION	09.01.24	MS
A	DRAFT PLAN OF SUBDIVISION - Based on updated design plans	10.01.24	MS
B	DRAFT PLAN OF SUBDIVISION - Access strip added	25.01.24	MS
C			
D			

REV	DESCRIPTION	DATE	APPR.
0	DRAFT PLAN OF SUBDIVISION	09.01.24	MS
A	DRAFT PLAN OF SUBDIVISION - Based on updated design plans	10.01.24	MS
B	DRAFT PLAN OF SUBDIVISION - Access strip added	25.01.24	MS
C			
D			



### LEGEND

—	Title/Proposed Boundary
—	Easement
—	TasWater Sewer
—	TasWater Water
—	Design Sewer
—	Design Water
—	Design Stormwater

ALL STORMWATER, SEWER, WATER, AND ACCESSES TO BE CONSTRUCTED TO RELEVANT STANDARDS



### LEGEND

—	Title/Proposed Boundary
—	Easement
—	TasWater Sewer
—	TasWater Water
—	Design Sewer
—	Design Water
—	Design Stormwater

## 10 APPENDIX C – BUSHFIRE HAZARD MANAGEMENT PLAN

**BUSHFIRE HAZARD MANAGEMENT PLAN**

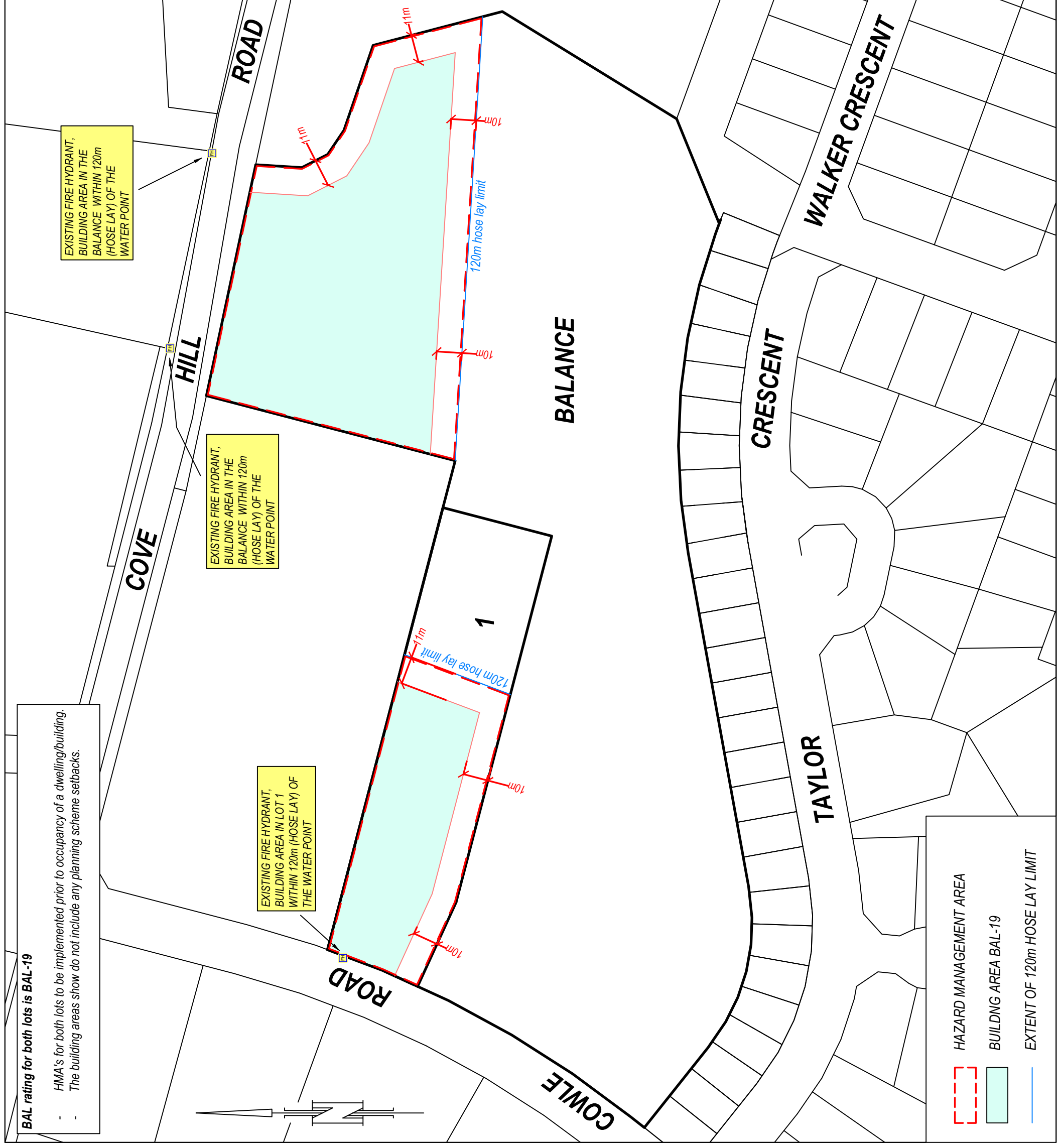
LOCATION:	115 Cove Hill Road, Bridgewater TAS 7030
TITLE REFERENCE:	C. T. 1762/16/103
PROPERTY ID:	9945127
MUNICIPALITY:	Brighton
DATE:	1st of March 2024 (v1.0)
SCALE:	1:1500 @ A3
REFERENCE:	TYG BA02

**REQUIREMENTS**

- HAZARD MANAGEMENT AREAS (HMA)**
  - HMA to be established to distances indicated on this plan and as set out in Section 4.1 of the Bushfire Hazard Report.
  - Vegetation in the HMA needs to be strategically modified and then maintained in a low fuel state to protect future dwellings from direct flame contact and intense radiant heat. An annual inspection and maintenance of the HMA should be conducted prior to the bushfire season. All grasses or pastures must be kept short (<100 mm) within the HMA. Fine fuel loads at ground level such as leaves, litter and wood piles must be minimal to reduce the quantity of wind borne sparks and embers reaching buildings; and to halt or check direct flame attack.
  - Some trees can be retained provided there is horizontal separation between the canopies; and low branches are removed to create vertical separation between the ground and the canopy. Small clumps of established trees and/or shrubs may act to trap embers and reduce wind speeds.
  - No trees to overhang houses to prevent branches or leaves from falling on the building.
  - Non-combustible elements including driveways, paths and short cropped lawns are recommended within the HMA.
  - Fine fuels (leaves bark, twigs) should be removed from the ground periodically (pre-fire season) and all grasses or pastures must be kept short (<100 mm).
- CONSTRUCTION STANDARDS**
  - Future dwellings within the specified building areas to be designed and constructed to BAL ratings shown on this plan in accordance with AS3959:2018 at the time of building approval
  - Future outbuildings within 6m of a class 1a dwelling must be constructed to the same BAL as the dwelling or provide fire separation in accordance with Clause 3.2.3 of AS3959:2018.
- PUBLIC AND FIRE-FIGHTING ACCESS REQUIREMENTS**
  - Access to all lots must comply with the design and construction requirements specified in Section 4.2 of the Bush Fire Report.
  - RETICULATED FIRE-FIGHTING WATER SUPPLY**
    - The reticulated water supply must be:
      - Consistent with the specifications outlined in section 4.3 of the Bushfire Report.

This plan is to be read in conjunction with the preceding Bushfire Assessment Report "Proposed 2 Lot Subdivision 115 Cove Hill Road, Bridgewater" dated 20/02/2024.

BHMP BY JAMES ROGERSON  
ACCREDITED BUSHFIRE PRACTITIONER (BFP-161), scopes: 1, 2 & 3B



## 11 APPENDIX D – PLANNING CERTIFICATE

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## BUSHFIRE-PRONE AREAS CODE

### CERTIFICATE<sup>1</sup> UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993

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#### 1. Land to which certificate applies

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

115 Cove Hill Road, Bridgewater TAS 7030

Certificate of Title / PID:

C.T.176216/103 / 9945127

#### 2. Proposed Use or Development

Description of proposed Use and Development:

TWO LOT SUBDIVISION OF C.T.176216/103

Applicable Planning Scheme:

Tasmanian Planning Scheme - Brighton

#### 3. Documents relied upon

This certificate relates to the following documents:

Title	Author	Date	Version
SUBDIVISION PROPOSAL PLAN	PDA SURVEYORS, ENGINEERS & PLANNERS	09/01/2023	Rev B (25/01/24)
BUSHFIRE HAZARD REPORT – 115 COVE HILL ROAD, BRIDGEWATER	JAMES ROGERSON – JR BUSHFIRE ASSESSMENTS	20/02/2024	1.0
BUSHFIRE HAZARD MANGAEMENT PLAN– 115 COVE HILL ROAD, BRIDGEWATER	JAMES ROGERSON – JR BUSHFIRE ASSESSMENTS	01/03/2024	1.0

<sup>1</sup> This document is the approved form of certification for this purpose and must not be altered from its original form.



#### 4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

<input type="checkbox"/> <b>E1.4 / C13.4 – Use or development exempt from this Code</b>	
<b>Compliance test</b>	<b>Compliance Requirement</b>
<input type="checkbox"/> E1.4(a) / C13.4.1(a)	

<input type="checkbox"/> <b>E1.5.1 / C13.5.1 – Vulnerable Uses</b>	
<b>Acceptable Solution</b>	<b>Compliance Requirement</b>
<input type="checkbox"/> E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.5.1 A2 / C13.5.1 A2	
<input type="checkbox"/> E1.5.1 A3 / C13.5.1 A2	

<input type="checkbox"/> <b>E1.5.2 / C13.5.2 – Hazardous Uses</b>	
<b>Acceptable Solution</b>	<b>Compliance Requirement</b>
<input type="checkbox"/> E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.5.2 A2 / C13.5.2 A2	
<input type="checkbox"/> E1.5.2 A3 / C13.5.2 A3	

<input type="checkbox"/> <b>E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas</b>	
<b>Acceptable Solution</b>	<b>Compliance Requirement</b>
<input type="checkbox"/> E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.6.1 A1 (a) / C13.6.1 A1(a)	
<input checked="" type="checkbox"/> E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 for all lots (including any lot designated as 'balance')

<input type="checkbox"/>	E1.6.1 A1(c) / C13.6.1 A1(c)	
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<input type="checkbox"/>	<b>E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access</b>	
	<b>Acceptable Solution</b>	<b>Compliance Requirement</b>
<input type="checkbox"/>	E1.6.2 P1 / C13.6.2 P1	
<input type="checkbox"/>	E1.6.2 A1 (a) / C13.6.2 A1 (a)	
<input checked="" type="checkbox"/>	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Access complies with relevant Tables

<input type="checkbox"/>	<b>E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes</b>	
	<b>Acceptable Solution</b>	<b>Compliance Requirement</b>
<input type="checkbox"/>	E1.6.3 A1 (a) / C13.6.3 A1 (a)	
<input checked="" type="checkbox"/>	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant the Table.
<input type="checkbox"/>	E1.6.3 A1 (c) / C13.6.3 A1 (c)	
<input type="checkbox"/>	E1.6.3 A2 (a) / C13.6.3 A2 (a)	
<input type="checkbox"/>	E1.6.3 A2 (b) / C13.6.3 A2 (b)	
<input type="checkbox"/>	E1.6.3 A2 (c) / C13.6.3 A2 (c)	

## 5. Bushfire Hazard Practitioner

Name:

JAMES ROGERSON

Phone No:

0488372283

Postal Address:

UNIT 1-2 KENNEDY DRIVE,  
CAMBRIDGE PARK

Email Address:

JR.BUSHFIREASSESSMENTS@G  
MAIL.COM

Accreditation No:

BFP – 161

Scope:

1, 2, 3B

## 6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

- Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or
- The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate for lot 3.

Signed:  
certifier



Name:

JAMES ROGERSON

Date:

1/3/2024

Certificate  
Number:

161

(for Practitioner Use only)