



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/081

LOCATION OF AFFECTED AREA

22 CHURINGA WATERS DRIVE, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

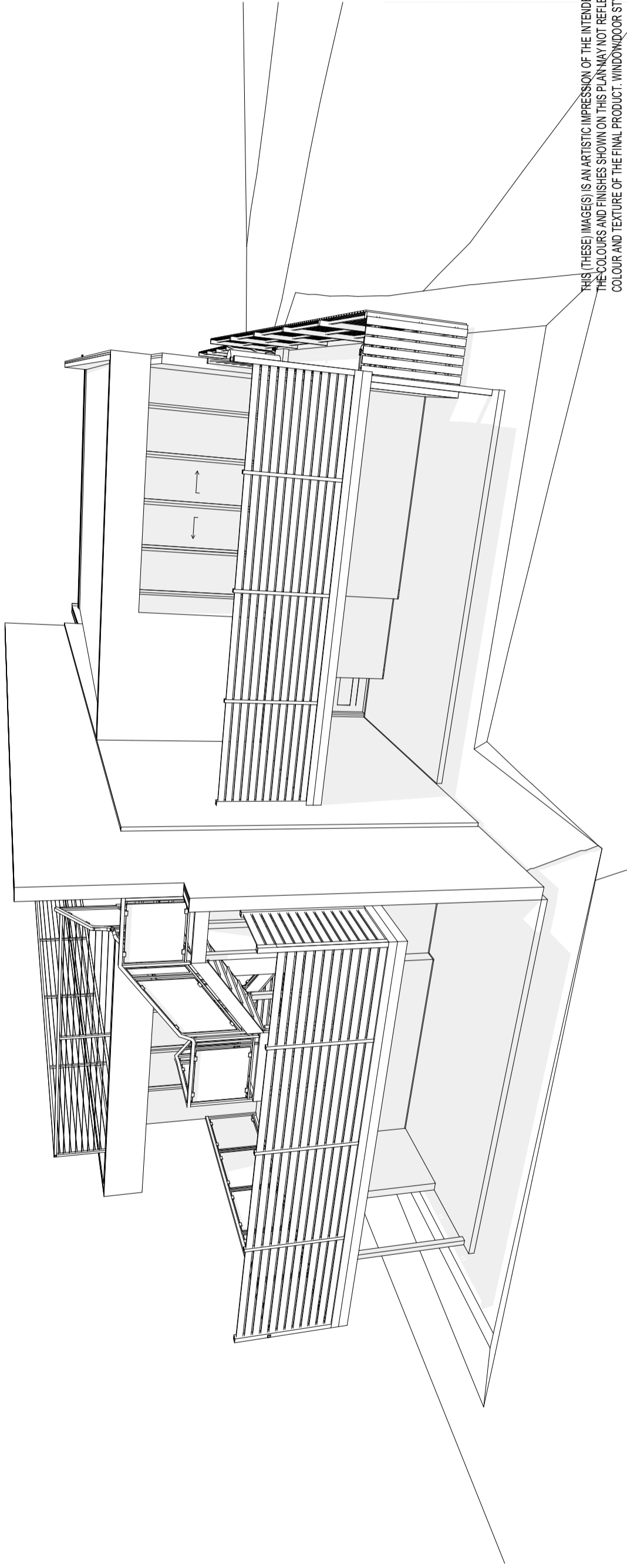
**PARTIAL CHANGE OF USE TO RESIDENTIAL AND CONSTRUCTION OF
MULTIPLE DWELLINGS (X2)**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **18/06/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager



Brighton
going places



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PROPOSED DUPLEX UNITS

22 CHURINGA WATERS DVE, OLD BEACH, TAS 7017

CLIENT: LEO GIAKIS

STAGE: DEVELOPMENT APPLICATION

COUNCIL: BRIGHTON CITY COUNCIL

TITLE REF: 182141 / 1 & 2

JOB No.: 072

REV	AMENDMENTS	DATE	SHEET	DRW
6	UPDATE DRIVEWAY FOOTPRINT TO ENG. PLANS	2024.05.27	2, 3, 12	CDP
5	UPDATES FOR MINOR AMENDMENT APPLICATION	2024.04.12	3, 4, 6, 8, 9, 10, 11, 13	CDP
4	BA PLAN SET - ENERGY UPDATES	2024.03.26	7, 8, 11, 21, 22, 23	CDP
3	BA PLAN SET - UPDATES FOR ENG. CHANGES	2024.03.08	2, 3, 12	CDP
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1	BA PLAN SET - INITIAL ISSUE	2024.03.02	ALL	CDP
REV	AMENDMENTS	DATE	SHEET	DRW

REVISION SCHEDULE

AREA SCHEDULE

EXISTING RESIDENCE 204.45m²
 PROPOSED UNIT 2 FOOTPRINT 116m²
 PROPOSED UNIT 3 FOOTPRINT 116m²
 PROPOSED DRIVEWAY -570.90m²
TOTAL PROPOSED IMPERVIOUS 1007.35m²

LOT 2 410.21m²
 LOT 1 784.69m²

SITE AREA 1610m²
 SITE COVERAGE 62.6%

SITE ASSESSMENT

ZONE: GENERAL RESIDENTIAL

OVERLAY(S): NATURAL ASSETS CODE

WIND REGION: A

SOIL CLASS: H1

TERRAIN CATEGORY: TC1

SHIELDING CLASS: NS

TOPOGRAPHIC CLASS: T0

WIND CLASS: N3

ALPINE AREA: LESS THAN 900m AHD

CORROSION ENVIRONMENT: >100m FROM BREAKING SURF

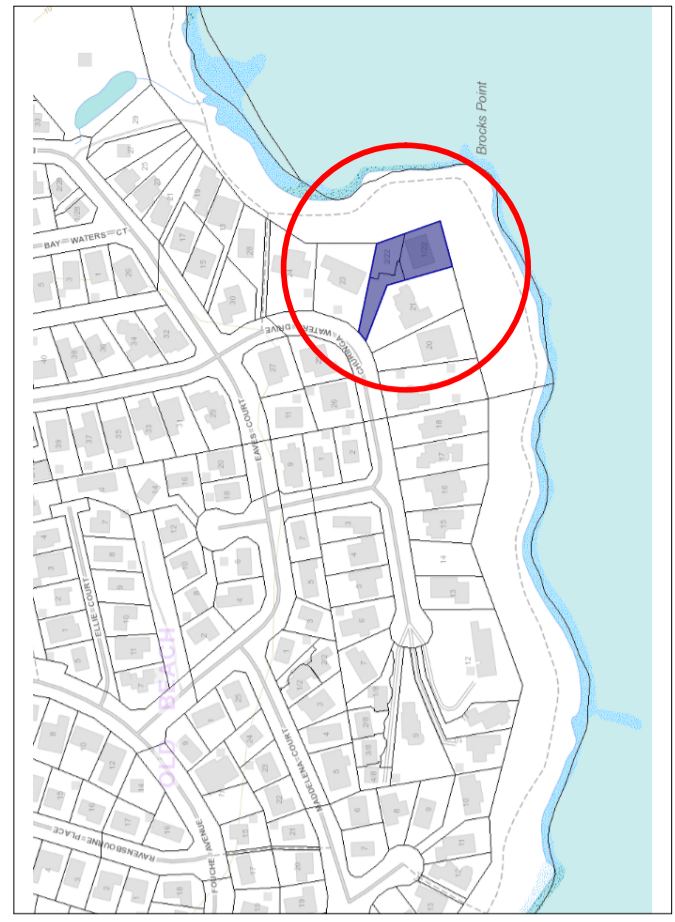
OTHER SUPPORTING DOCUMENTATION

STRUCTURAL ENG.: ASSET SAFE

SITE DRAINAGE AND D'WAY DETAILS: ASSET SAFE

SHEET LIST

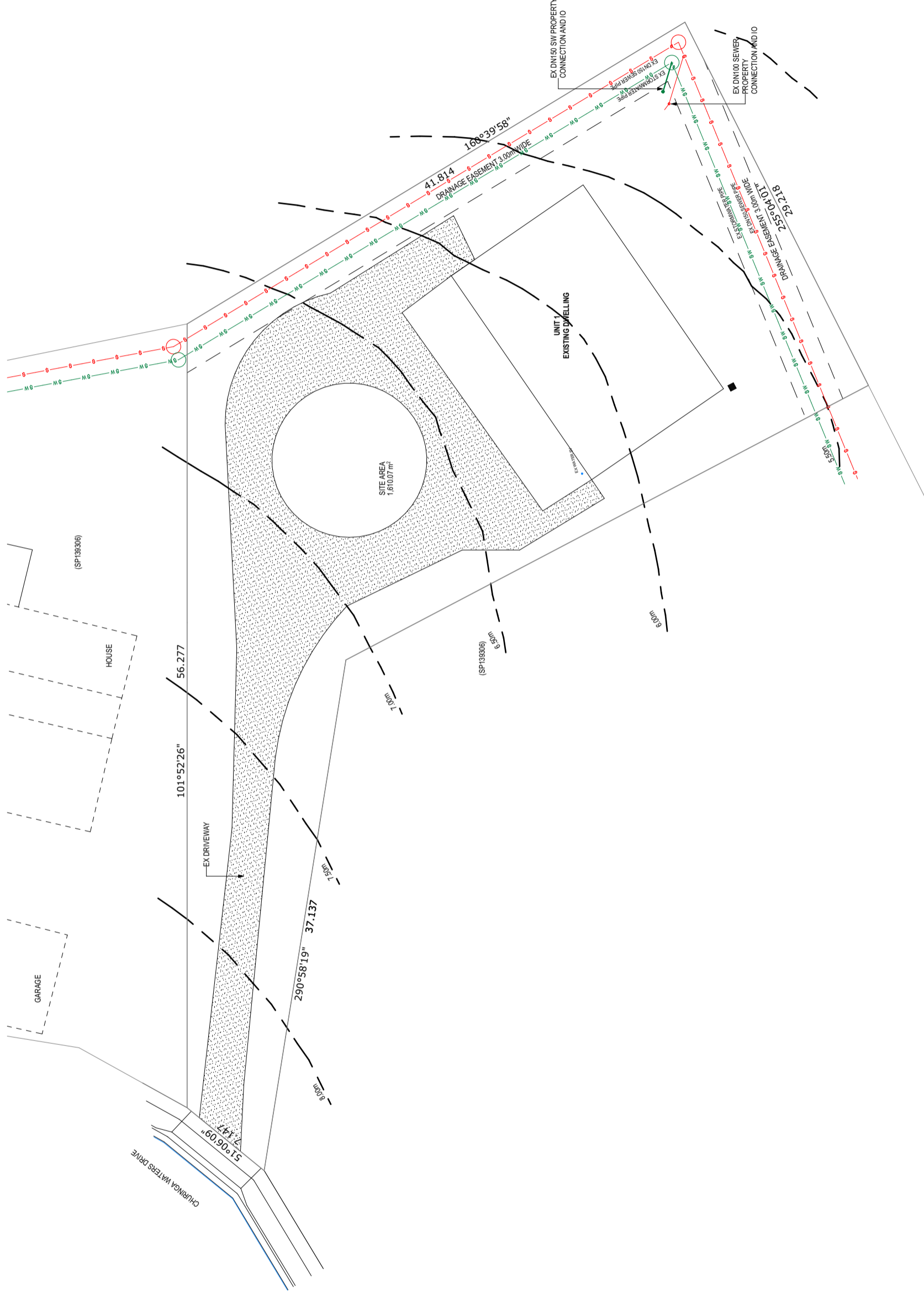
No.	SHEET NAME	SHEET REV.
A-01	COVER SHEET	6
A-02	EXISTING SITE PLAN	1
A-03	SITE PLAN 1:300	6
A-04	SITE PLAN 1:200	6
A-05	DRAINAGE PLAN	6
A-06	LANDSCAPING PLAN	6
A-07	GROUND FLOOR PLAN	4
A-08	FIRST FLOOR PLAN	4
A-09	UPPER DECK PLAN	5
A-10	ELEVATIONS	5
A-11	ELEVATIONS	5
A-12	3D PERSPECTIVE VIEWS	5
A-13	SECTIONS	5
A-14	DETAILS	1
A-15	UNIT 2 ROOF DRAINAGE PLAN	1
A-16	UNIT 3 DECK DRAINAGE PLAN	1
A-17	GROUND FLOOR FLOOR COVERINGS	2
A-18	FIRST FLOOR FLOOR COVERINGS	1
A-19	GROUND FLOOR ELECTRICAL PLANS	2
A-20	FIRST FLOOR ELECTRICAL PLAN	1
A-21	TYPICAL FLASHING DETAILS	1
A-22	WINDOW AND DOOR SCHEDULE	4
A-23	CALCULATIONS & SCHEDULES	4
A-24	ELECTRICAL LIGHTING CALCULATIONS	4
A-25	WET AREA NOTES	1
A-26	TYPICAL STAIR NOTES	1
A-27	GENERAL NOTES	1



SITE LOCATION

PH: 0417858537
 E: chrispooley0@gmail.com
 BUILDING DESIGNER ACCREDITATION:
 866086039





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PH: 04117858537
 E: chrispooley0@gmail.com

BUILDING DESIGNER
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BUILDING BEING CONSTRUCTED IN A BAL-NA AREA
 (RESTRICTIONS TO OR ADDITIONAL CONSTRUCTION METHODS/MATERIALS MAY APPLY - REFER TO NOTES)

EXISTING SITE PLAN

PROPOSED DUPLEX UNITS

DEVELOPMENT APPLICATION

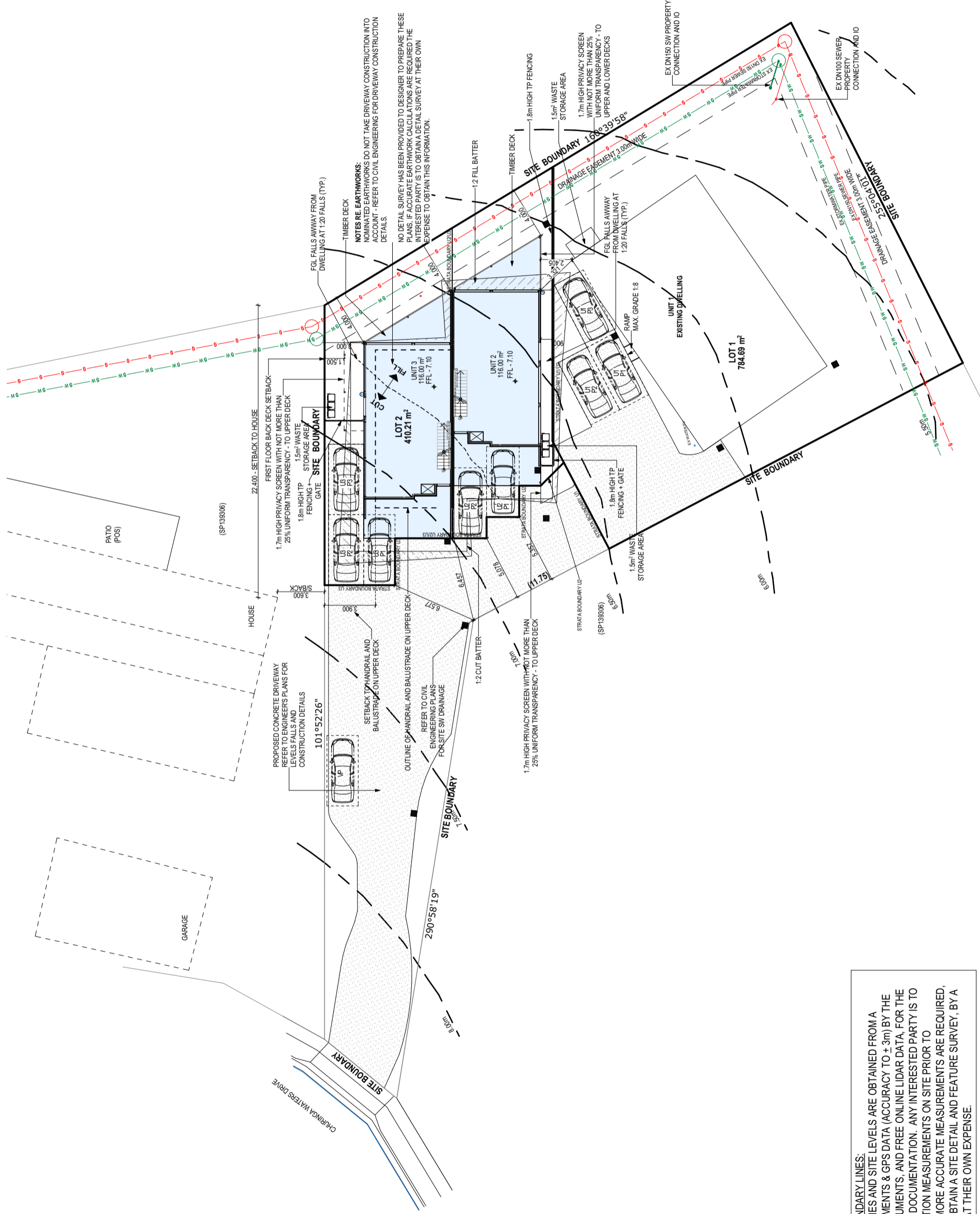
LEO GIAKIS

22 CHURINGA WATERS DVE, OLD BEACH, TAS 7017
 CT: 182141 LOT: 1 & 2

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1	BA PLAN SET - INITIAL ISSUE	2024.03.02	ALL	CDP
2	CLIENT REQUESTED CHANGES TO UNIT 3	2024.03.04	1, 5-12, 16, 18, 21, 23	CDP
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ALL LAYOUTS ARE TO BE PRINTED IN COLOUR

LAYOUT REV: 1
 JOB No: 072
 SCALES(s) @ A3: 1:300
 SHEET No: A-02
 No. OF SHEETS: 27



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SITE PLAN 1:300

PROPOSED DUPLEX UNITS

DEVELOPMENT APPLICATION

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LAYOUT REV: 6
 JOB No: 072
 SCALES(s) @ A3: 1:300
 SHEET No: A-03
 No. OF SHEETS: 27

AREA SCHEDULE

EXISTING RESIDENCE
 PROPOSED UNIT 2 FOOTPRINT
 PROPOSED UNIT 3 FOOTPRINT
 PROPOSED DRIVEWAY
TOTAL PROPOSED IMPERVIOUS

LOT 2
 LOT 1

SITE AREA
 SITE COVERAGE

SITE ASSESSMENT

ZONE:
 OVERLAY(S):

WIND REGION:
 SOIL CLASS:
 TERRAIN CATEGORY:
 SHIELDING CLASS:
 TOPOGRAPHIC CLASS:
 WIND CLASS:
 ALPINE AREA:
 CORROSION ENVIRONMENT:

OTHER SUPPORTING DOCUMENTATION

STRUCTURAL ENG:
 SITE DRAINAGE AND DWAY DETAILS:

204.45m²
 116m²
 116m²
 ~570.90m²
1007.35m²

410.21m²
 784.69m²

TOTAL SITE AREA 1610m²
 62.6%

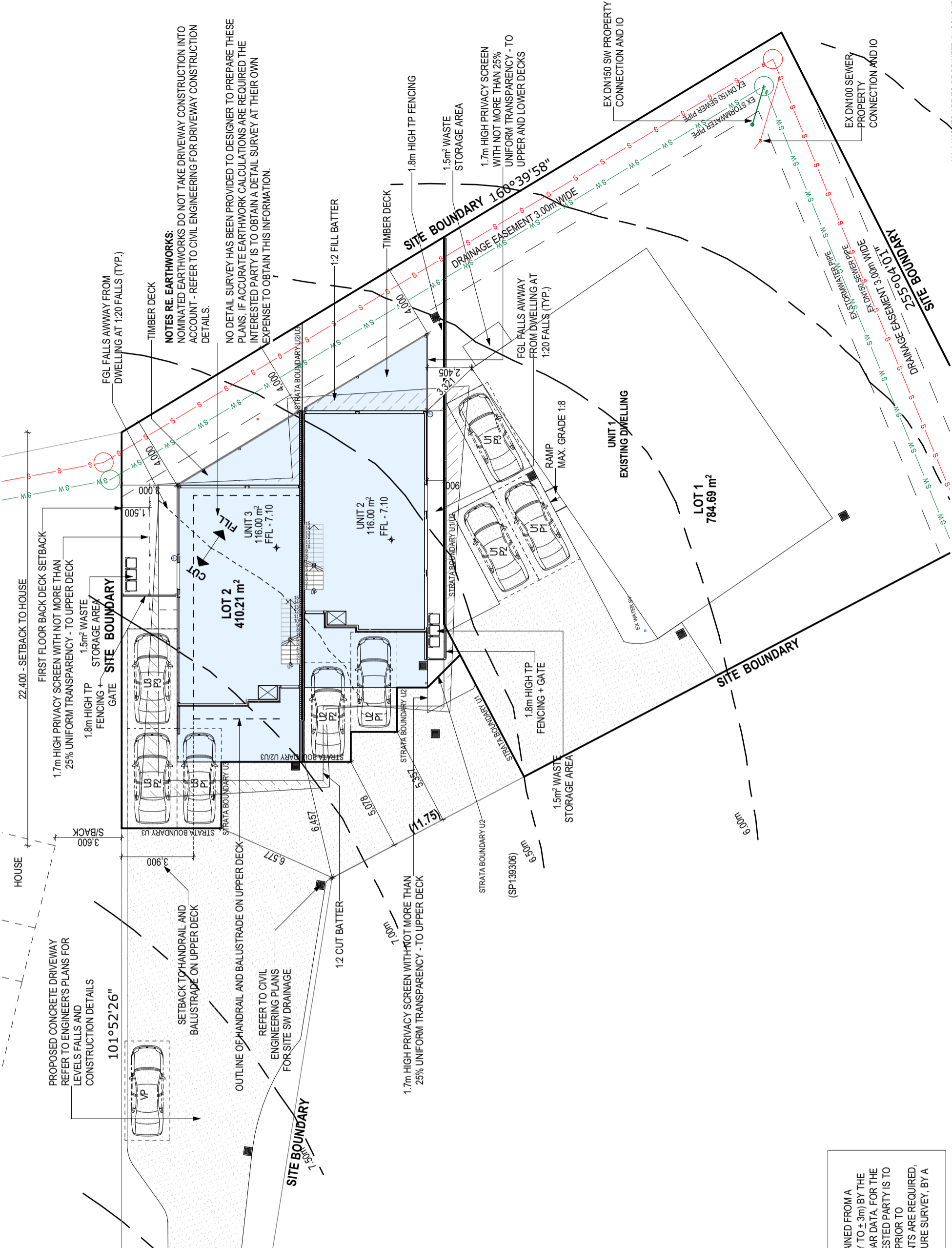
GENERAL RESIDENTIAL

NATURAL ASSETS CODE

A
 H1
 TC1
 NS
 TO
 N3
**LESS THAN 900m AHD
 FROM BREAKING SURF**

ASSET SAFE

ASSET SAFE
 ASSET SAFE



NOTES RE. EARTHWORKS:
 NOMINATED EARTHWORKS DO NOT TAKE DRIVEWAY CONSTRUCTION INTO ACCOUNT - REFER TO CIVIL ENGINEERING FOR DRIVEWAY CONSTRUCTION DETAILS.

NO DETAIL SURVEY HAS BEEN PROVIDED TO DESIGNER TO PREPARE THESE PLANS. IF ACCURATE EARTHWORK CALCULATIONS ARE REQUIRED THE INTERESTED PARTY IS TO OBTAIN A DETAIL SURVEY AT THEIR OWN EXPENSE TO OBTAIN THIS INFORMATION.

NOTE RE SITE LEVELS AND BOUNDARY LINES:
 BOUNDARY LINES, CONTOUR LINES AND SITE LEVELS ARE OBTAINED FROM A MIXTURE OF: ON SITE MEASUREMENTS & GPS DATA (ACCURACY TO ± 3m) BY THE BUILDING DESIGNER, TITLE DOCUMENTS, AND FREE ONLINE LIDAR DATA. FOR THE PURPOSES OF PREPARING THIS DOCUMENTATION, ANY INTERESTED PARTY IS TO OBTAIN THEIR OWN CONFORMATION MEASUREMENTS ON SITE PRIOR TO UNDERTAKING ANY WORKS. IF MORE ACCURATE MEASUREMENTS ARE REQUIRED, THE INTERESTED PARTY IS TO OBTAIN A SITE DETAIL AND FEATURE SURVEY, BY A REGISTERED LAND SURVEYOR AT THEIR OWN EXPENSE.

PDS
 PH: 04117858537
 E: chrispooley0@gmail.com
 BUILDING DESIGNER
 POOLEY'S DRAFTING SERVICES ACCREDITATION: 866088099

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SITE PLAN 1:200

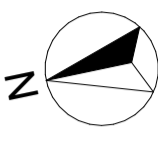
PROPOSED DUPLEX UNITS

DEVELOPMENT APPLICATION

LEO GIAKIS

22 CHURINGA WATERS DVE, OLD BEACH, TAS 7017
 CT: 182141 LOT: 1 & 2

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LAYOUT REV: 6
 JOB NO: 072
 SCALES(S) @ A3: 1:200
 SHEET NO: A-04
 No. OF SHEETS: 27

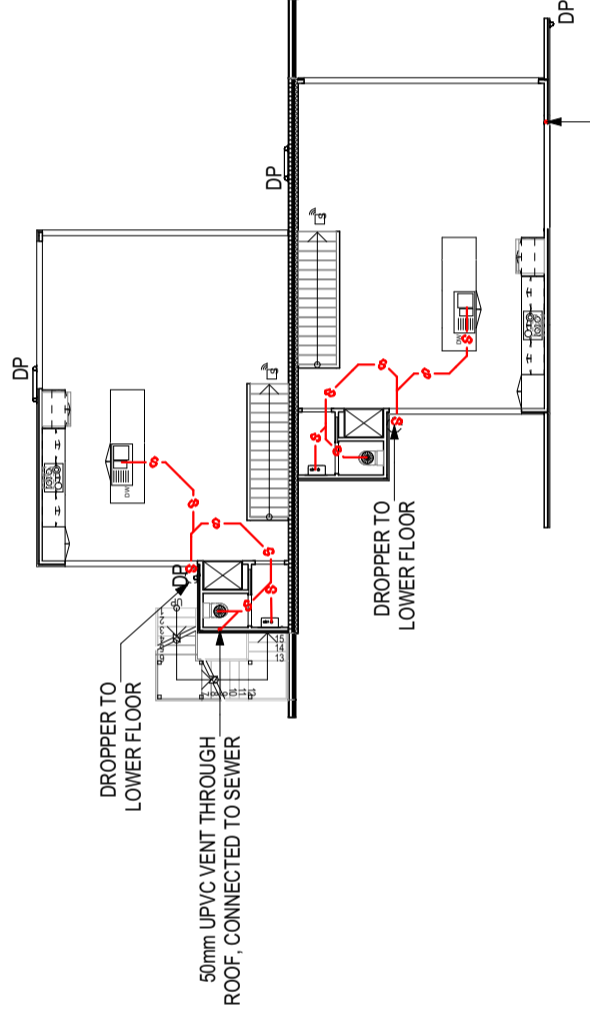
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THIS LAYOUT IS TO BE PRINTED IN COLOUR

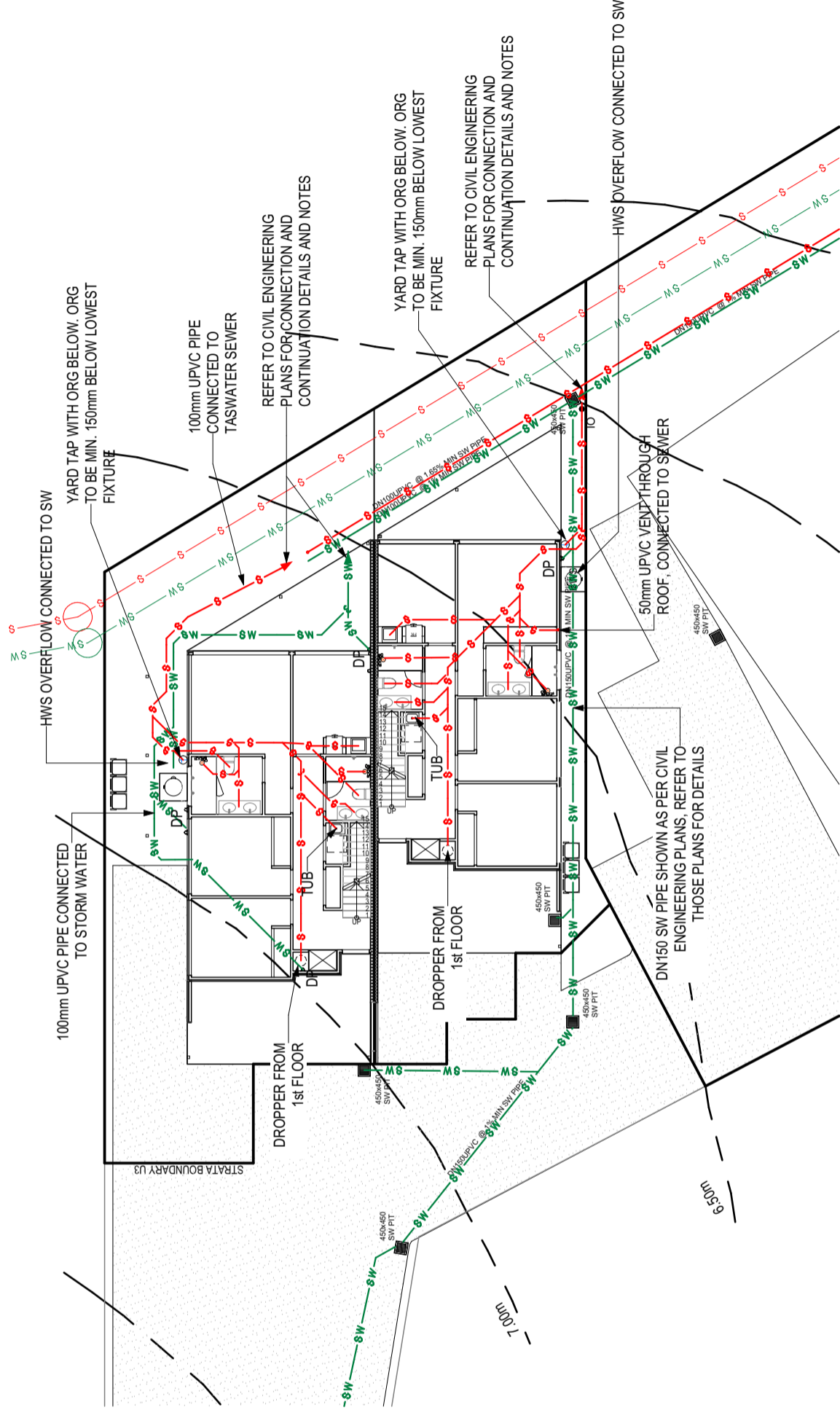
GENERAL PLUMBING NOTES:

1. PLUMBER TO CONFIRM THE EXISTING ON-SITE SERVICES PRIOR TO COMMENCEMENT OF ANY EXCAVATIONS.
2. ALL PLUMBING WORKS TO BE IN ACCORDANCE WITH COUNCIL REGULATIONS, THE DIRECTORS DETERMINATION & AS3500.
3. REFER TO DESIGNERS DRAWINGS AND FIXTURE AND EQUIPMENT TECHNICAL SPECIFICATIONS FOR PIPEWORK CONNECTIONS.
4. MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
5. REMOVE ALL EXCESS SOIL AND SURPLUS MATERIALS FROM THE SITE.
6. ALL PLUMBING TO BE INSTALLED BY A LICENCED PLUMBER.
7. INSTALL INSPECTION OPENINGS AT MAJOR BENDS AND ALL LOW POINTS OF DOWNPIPES.

THESE PLANS FOR INTERNAL DRAINAGE TO IO'S ONLY. REFER TO CIVIL ENGINEERING PLANS FOR SITE DRAINAGE.



FIRST FLOOR DRAINAGE PLAN 1:200



GROUND FLOOR DRAINAGE PLAN 1:200

LEGEND	
ITEM	PIPE / FIXTURE SIZE (U.O.)
CDP SDP	DN80
CHARGED DOWNPIPE / STANDARD DOWNPIPE	DN100 (ORG)
YARD TAP WITH ORG	DN80
FLOOR WASTE	DN50
BATH	DN40
VANITY	DN40
BASIN	DN50
SHOWER	DN50
LAUNDRY TUB	DN50
SINK	DN50
TOILET	DN100
VENT	DN50
50mm UPVC VENT TO OUTSIDE	
WATER MAIN / WATER LATERAL LINE	DN100
CHARGED STORMWATER LINE	DN100
STORMWATER LINE MIN. 1.0% GRADE	DN100
SEWER LINE MIN. 1.65% GRADE	DN100
EXISTING SEWER LINE	DN100
DROPPER BETWEEN LEVELS	DN100
INSPECTION OPENING	DN100
GRATED PIT	450x450
FIRE PLUG	
WATER METER	
SEWER LOT CONNECTION	
STORM WATER LOT CONNECTION	

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DRAINAGE PLAN

PROPOSED DUPLEX UNITS

LEO GIAKIS

DEVELOPMENT APPLICATION

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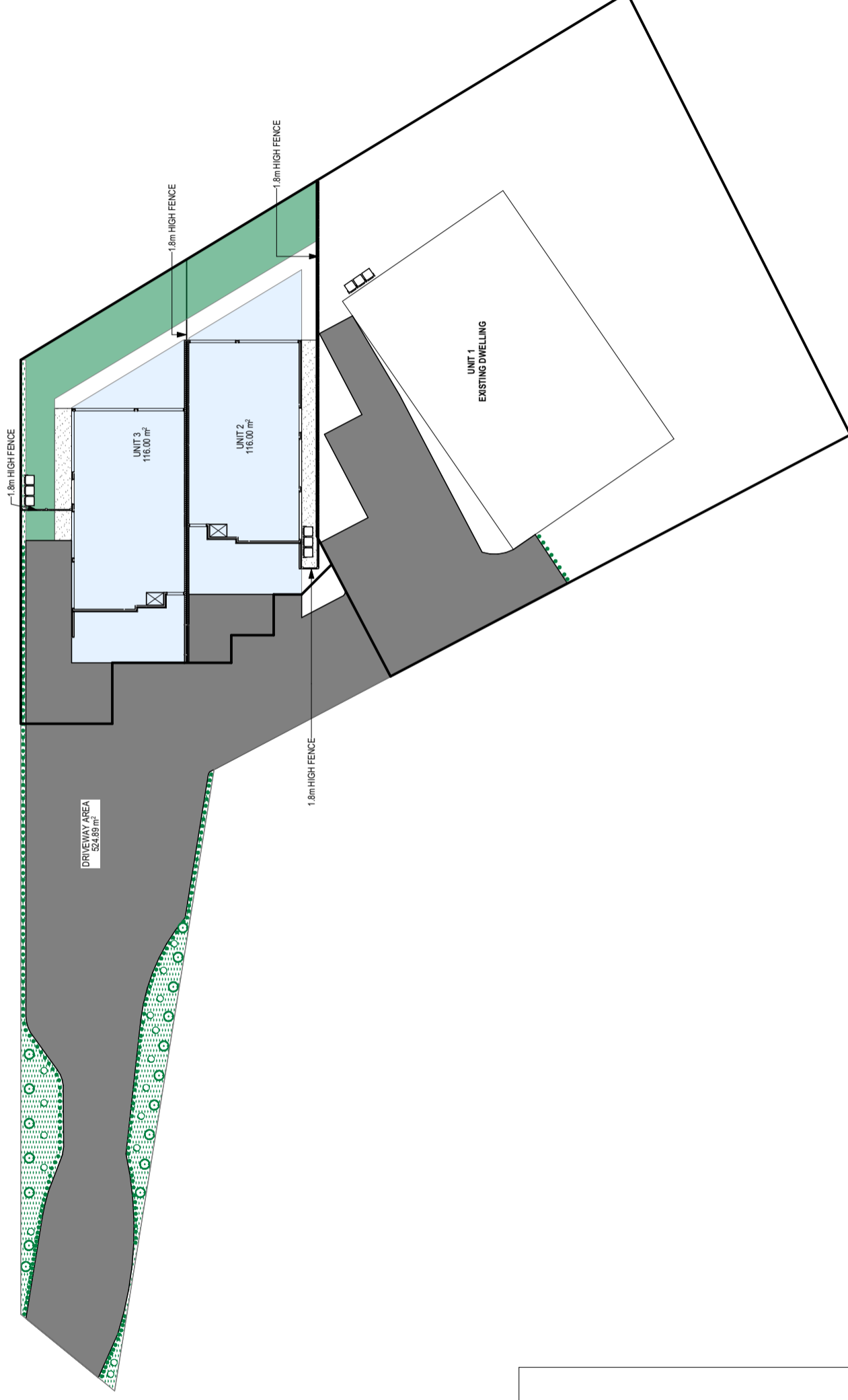
LAYOUT REV: 6

JOB No: 072

SCALES(s) @ A3: 1:200

SHEET No: A-05

No. OF SHEETS: 27



LEGEND	
	PATH / PAD
	SELECTED MULCH
	SEEDED LAWN
	MIN. 1.5m ² WASTE STORAGE AREA
	PROPOSED DRIVEWAY
	PITTOSPORUM - 3m HIGH
	GREVILLA GROUND COVER - MAX. 1m HIGH
	LIMELIGHT - MAX. 500mm HIGH

NOTES:

WHERE AN APPROVED LANDSCAPING PLAN HAS BEEN PROVIDED BY A LANDSCAPE ARCHITECT, THAT DOCUMENT IS TO TAKE PRECEDENCE.

WHERE APPLICABLE, THE BUILDER TO CROSSCHECK THIS PLAN WITH THE CIVIL ENGINEERING PLANS TO ENSURE THERE ARE NO CONFLICTS BETWEEN THESE DOCUMENTS. INFORM DESIGNER OF ANY CONFLICTS FOUND.

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LANDSCAPING PLAN

PROPOSED DUPLEX UNITS

LEO GIAKIS

DEVELOPMENT APPLICATION

22 CHURINGA WATERS DVE, OLD BEACH, TAS 7017

CT: 182141 LOT: 1 & 2

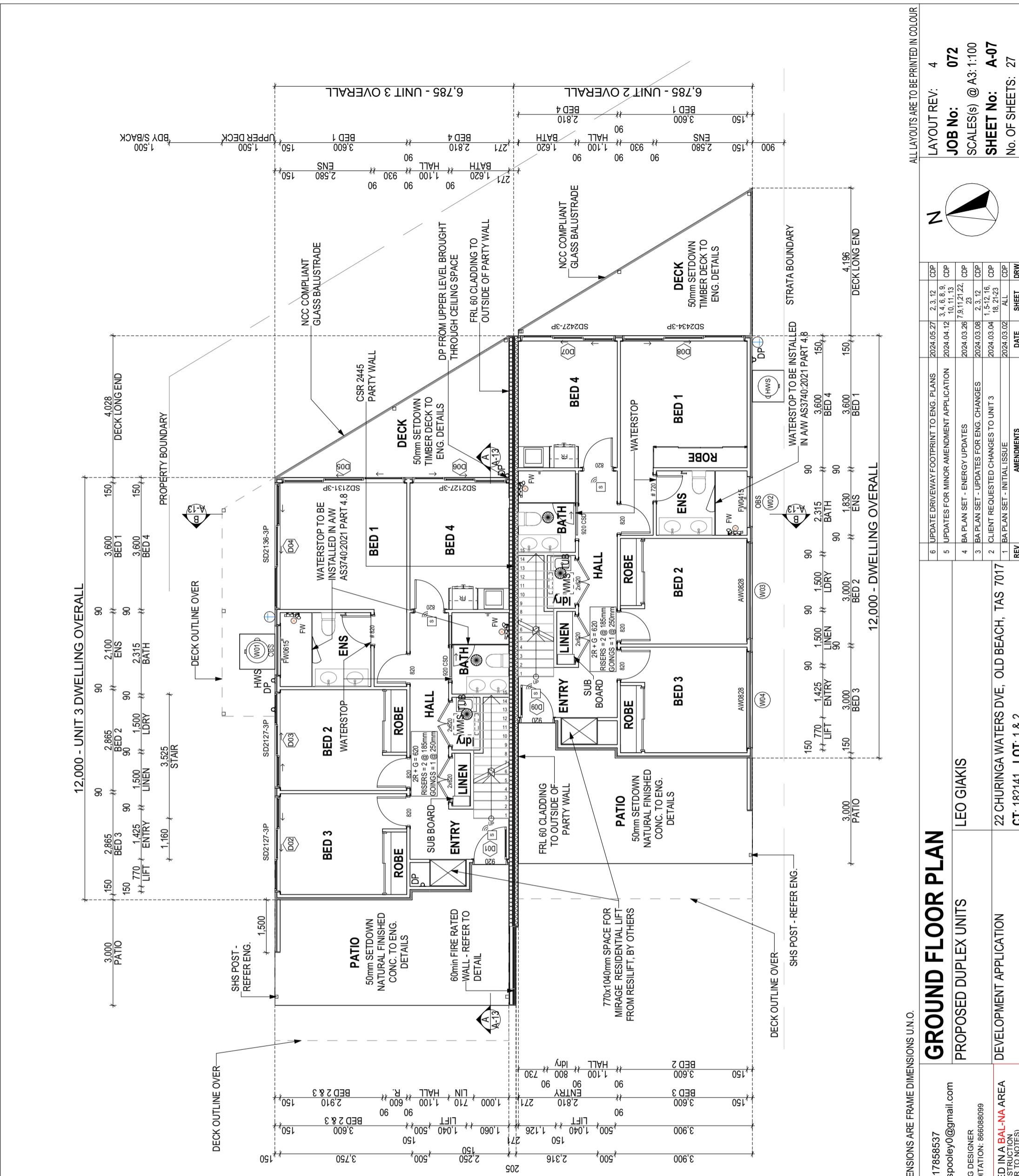
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LAYOUT REV: 6
JOB No: 072
SCALES(s) @ A3: 1:300
SHEET No: A-06
No. OF SHEETS: 27

ALL LAYOUTS ARE TO BE PRINTED IN COLOUR

FLOOR AREA SCHEDULE	
AREA NAME	MEASURED AREA
U2 BACK DECK	28.25
U2 DECK	14.51
U2 FIRST FLOOR	66.60
U2 FRONT DECK	27.25
U2 GROUND FLOOR	81.16
U3 BACK DECK	36.86
U3 DECK	13.39
U3 FIRST FLOOR	65.93
U3 FRONT DECK	27.70
U3 GROUND FLOOR	81.15
U3 UPPER LEVEL	84.09
NOTE: AREAS SHOWN ARE TO EXTERNAL WALL FACES U.N.O.	569.23 m²



LEGEND	
	EXTERIOR WALL - LIGHTWEIGHT CLADDING SHOWN GENERALLY @ 150mm
	EXTERIOR WALL - BRICK VENEER
	FIRE RATED PARTITION WALL DIMENSIONED VALUE = OUTSIDE FACE OF WALL SYSTEM
	INTERNAL STUD WALL
	INTERNAL STUD WALL (INSULATION)
	SMOKE ALARM - INTERCONNECTED WHERE THERE IS MORE THAN 1
	MECHANICAL EXHAUST FAN - DUCTED EXTERNALLY
	LIFT OFF HINGES TO DOOR
	YARD TAP WITH ORG
	YARD TAP
	CHARGED DOWNPIPE / STANDARD DOWNPIPE
	FLOOR WASTE GULLY

NOTE: ALL DIMENSIONS ARE FRAME DIMENSIONS U.N.O.

GROUND FLOOR PLAN

PROPOSED DUPLEX UNITS

DEVELOPMENT APPLICATION

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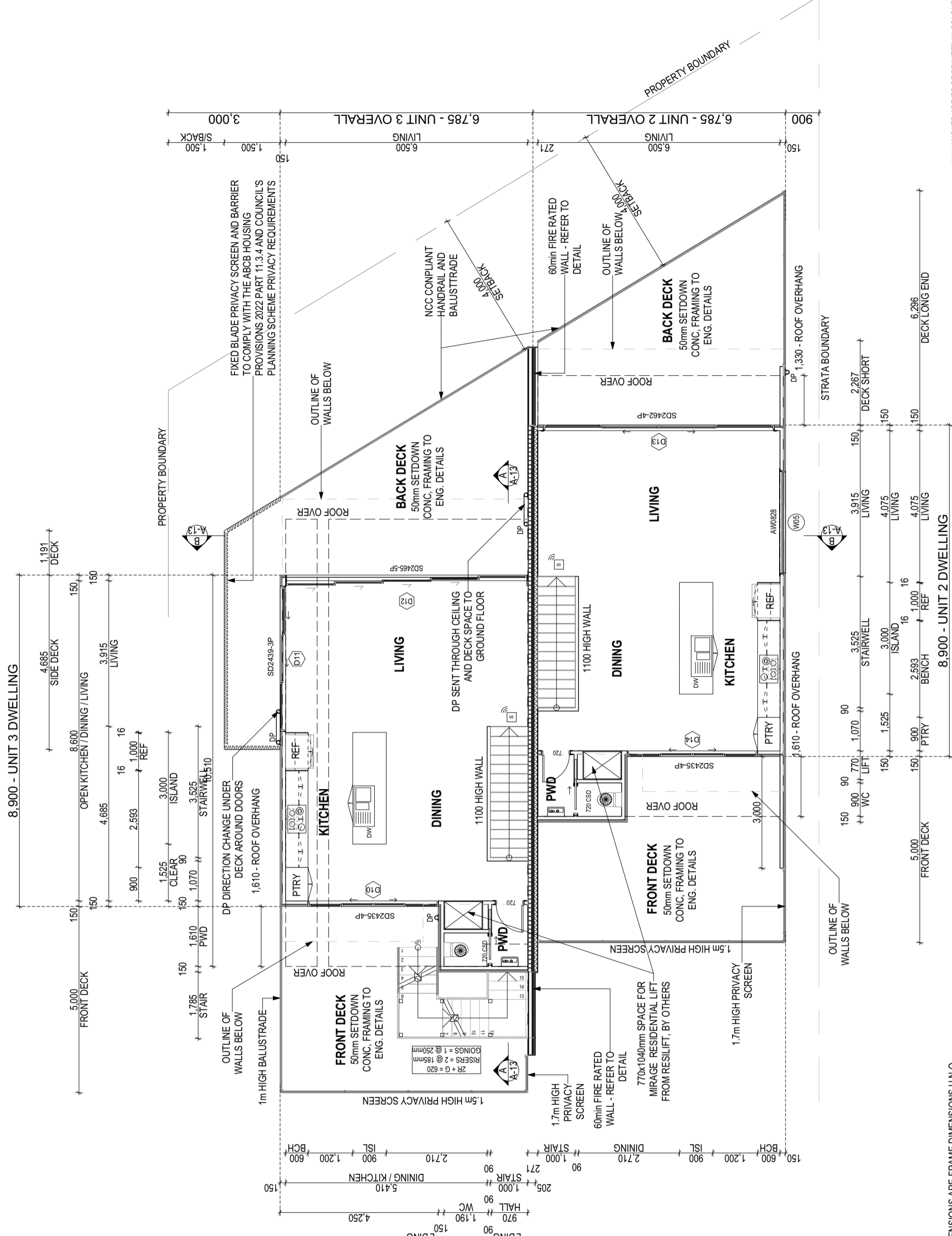
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LAYOUT REV: 4
JOB No: 072
SCALES(s) @ A3: 1:100
SHEET No: A-07
No. OF SHEETS: 27

ALL LAYOUTS ARE TO BE PRINTED IN COLOUR

FLOOR AREA SCHEDULE	
AREA NAME	MEASURED AREA
U2 BACK DECK	28.25
U2 DECK	14.51
U2 FIRST FLOOR	66.60
U2 FRONT DECK	27.25
U2 GROUND FLOOR	81.16
U2 PATIO	21.17
U3 BACK DECK	36.86
U3 DECK	13.39
U3 FIRST FLOOR	65.93
U3 FRONT DECK	27.70
U3 GROUND FLOOR	81.15
U3 PATIO	21.17
U3 UPPER LEVEL	84.09
TOTAL	569.23 m²

NOTE: AREAS SHOWN ARE TO EXTERNAL WALL FACES U.N.O.

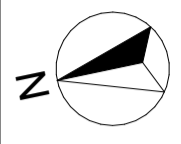


NOTE: ALL DIMENSIONS ARE FRAME DIMENSIONS U.N.O.

PROPERTY BOUNDARY

STRATA BOUNDARY

DECK LONG END



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3	BA PLAN SET - UPDATES FOR ENG. CHANGES	2024.03.08	2, 3, 12	CDP
2	CLIENT REQUESTED CHANGES TO UNIT 3	2024.03.04	1, 5-12, 16, 18, 21, 23	CDP
1	BA PLAN SET - INITIAL ISSUE	2024.03.02	ALL	CDP

LAYOUT REV: 4

JOB NO: 072

SCALES(S) @ A3: 1:100

SHEET NO: A-08

No. OF SHEETS: 27

FIRST FLOOR PLAN

PROPOSED DUPLEX UNITS

LEO GIAKIS

22 CHURINGA WATERS DVE, OLD BEACH, TAS 7017

CT: 182141 LOT: 1 & 2

PH: 0417858537

E: chrispooley0@gmail.com

PDS

POOLEY'S DRAFTING SERVICES ACCREDITATION: 866088099

BUILDING DESIGNER

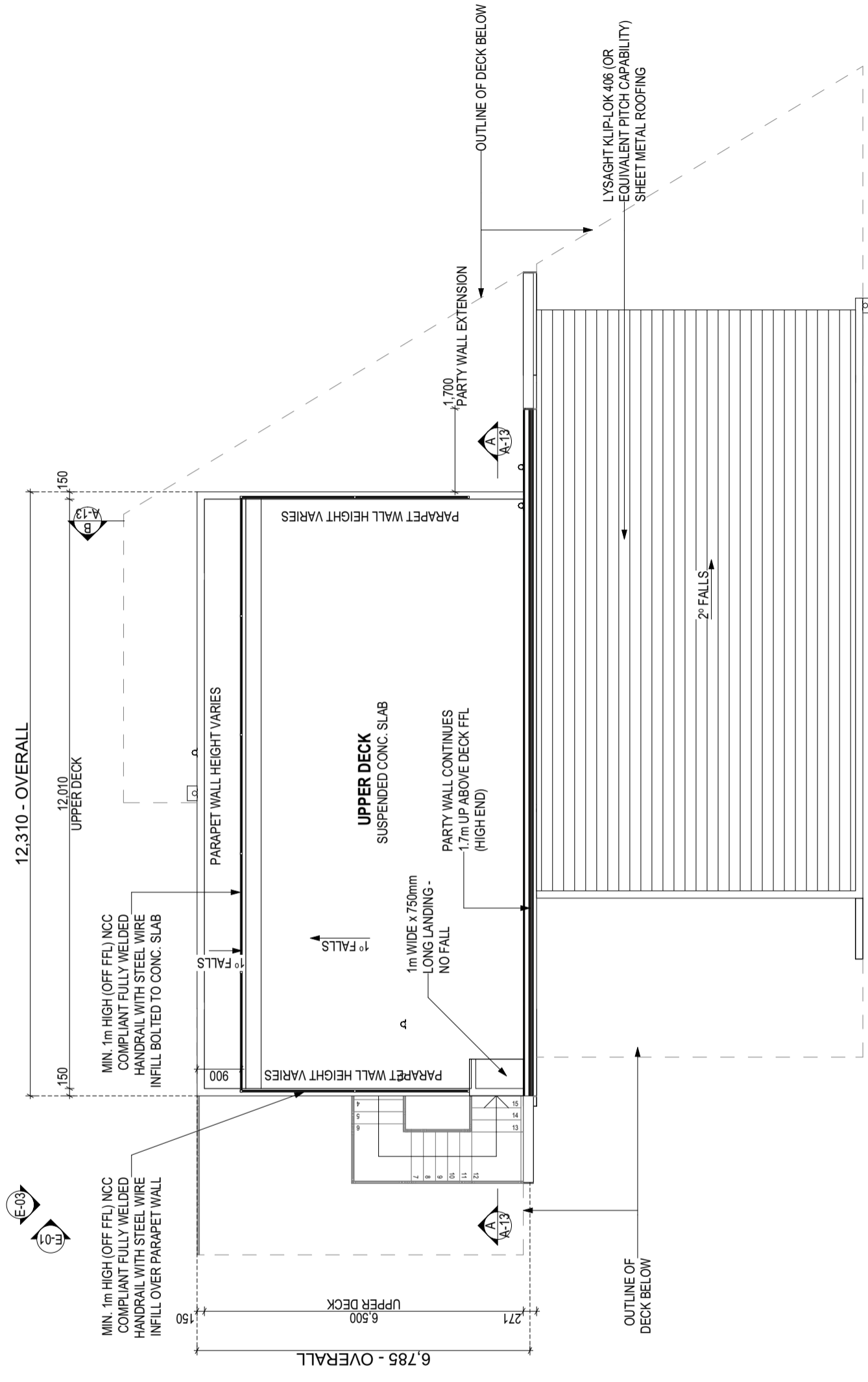
BUILDING DESIGNER

POOLEY'S DRAFTING SERVICES

BUILDING BEING CONSTRUCTED IN A BAL-NA AREA (RESTRICTIONS TO OR ADDITIONAL CONSTRUCTION METHODS/MATERIALS MAY APPLY - REFER TO NOTES)

- LEGEND**
- EXTERIOR WALL - LIGHTWEIGHT CLADDING SHOWN GENERALLY @ 150mm
 - EXTERIOR WALL - BRICK VENEER
 - FIRE RATED PARTITION WALL DIMENSIONED VALUE = OUTSIDE FACE OF WALL SYSTEM
 - INTERNAL STUD WALL
 - INTERNAL STUD WALL (INSULATION)
 - SMOKE ALARM - INTERCONNECTED WHERE THERE IS MORE THAN 1
 - MECHANICAL EXHAUST FAN - DUCTED EXTERNALLY
 - LIFT OFF HINGES TO DOOR
 - YARD TAP WITH ORG
 - YARD TAP
 - CHARGED DOWNPIPE / STANDARD DOWNPIPE
 - FW FLOOR WASTE GULLY

FLOOR AREA SCHEDULE	
AREA NAME	MEASURED AREA
U2 BACK DECK	28.25
U2 DECK	14.51
U2 FIRST FLOOR	66.60
U2 FRONT DECK	27.25
U2 GROUND FLOOR	81.16
U2 PATIO	21.17
U3 BACK DECK	36.86
U3 DECK	13.39
U3 FIRST FLOOR	66.93
U3 FRONT DECK	27.70
U3 GROUND FLOOR	81.15
U3 PATIO	21.17
U3 UPPER LEVEL	84.09
NOTE: AREAS SHOWN ARE TO EXTERNAL WALL FACES U.N.O.	569.23 m²



LEGEND	
	EXTERIOR WALL - LIGHTWEIGHT CLADDING SHOWN GENERALLY @ 150mm
	EXTERIOR WALL - BRICK VENEER
	FIRE RATED PARTITION WALL DIMENSIONED VALUE = OUTSIDE FACE OF WALL SYSTEM
	INTERNAL STUD WALL
	INTERNAL STUD WALL (INSULATION)
	SMOKE ALARM - INTERCONNECTED WHERE THERE IS MORE THAN 1
	MECHANICAL EXHAUST FAN - DUCTED EXTERNALLY
	# LIFT OFF HINGES TO DOOR
	⊕ YARD TAP WITH ORG
	⊕ YARD TAP
	⊕ CHARGED DOWNPIPE / STANDARD DOWNPIPE
	⊕ FW FLOOR WASTE GULLY

NOTE: ALL DIMENSIONS ARE FRAME DIMENSIONS U.N.O.

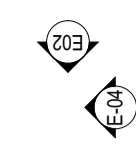
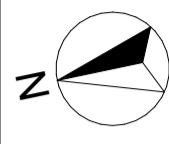
LEGEND
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 ⊕ YARD TAP
 ⊕ CHARGED DOWNPIPE / STANDARD DOWNPIPE
 ⊕ FW FLOOR WASTE GULLY

PDS
 PH: 04117858537
 E: chrispooley0@gmail.com
 BUILDING DESIGNER
 POOLEY'S DRAFTING SERVICES ACCREDITATION: 866088099

UPPER DECK PLAN
 PROPOSED DUPLEX UNITS
 LEO GIAKIS
 DEVELOPMENT APPLICATION
 22 CHURINGA WATERS DVE, OLD BEACH, TAS 7017
 CT: 182141 LOT: 1 & 2

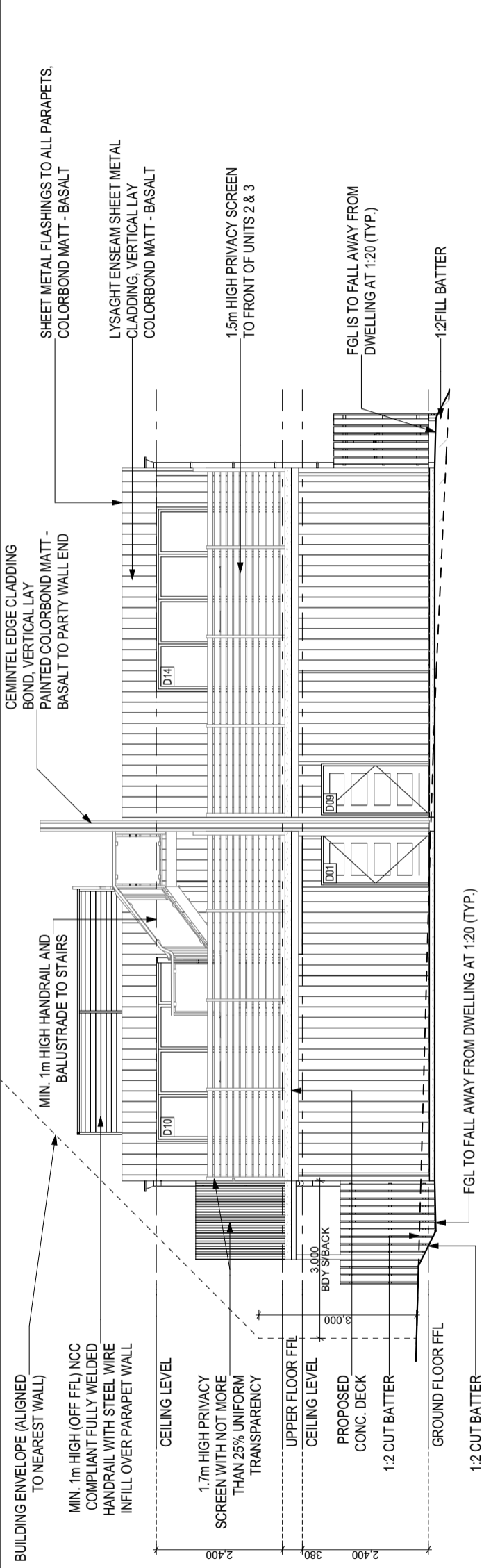
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6	UPDATE DRIVEWAY FOOTPRINT TO ENG. PLANS	2024.05.27	2, 3, 12	CDP
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1	BA PLAN SET - INITIAL ISSUE	2024.03.02	ALL	CDP

ALL LAYOUTS ARE TO BE PRINTED IN COLOUR
 LAYOUT REV: 5
 JOB No: 072
 SCALES(s) @ A3: 1:100
 SHEET No: A-09
 No. OF SHEETS: 27



BEDROOM WINDOWS 2m OR MORE ABOVE THE SURFACE BENEATH ARE TO BE SECURED AS REQUIRED BY PART 11.3.7 OF THE ABCB HOUSING PROVISIONS 2022.

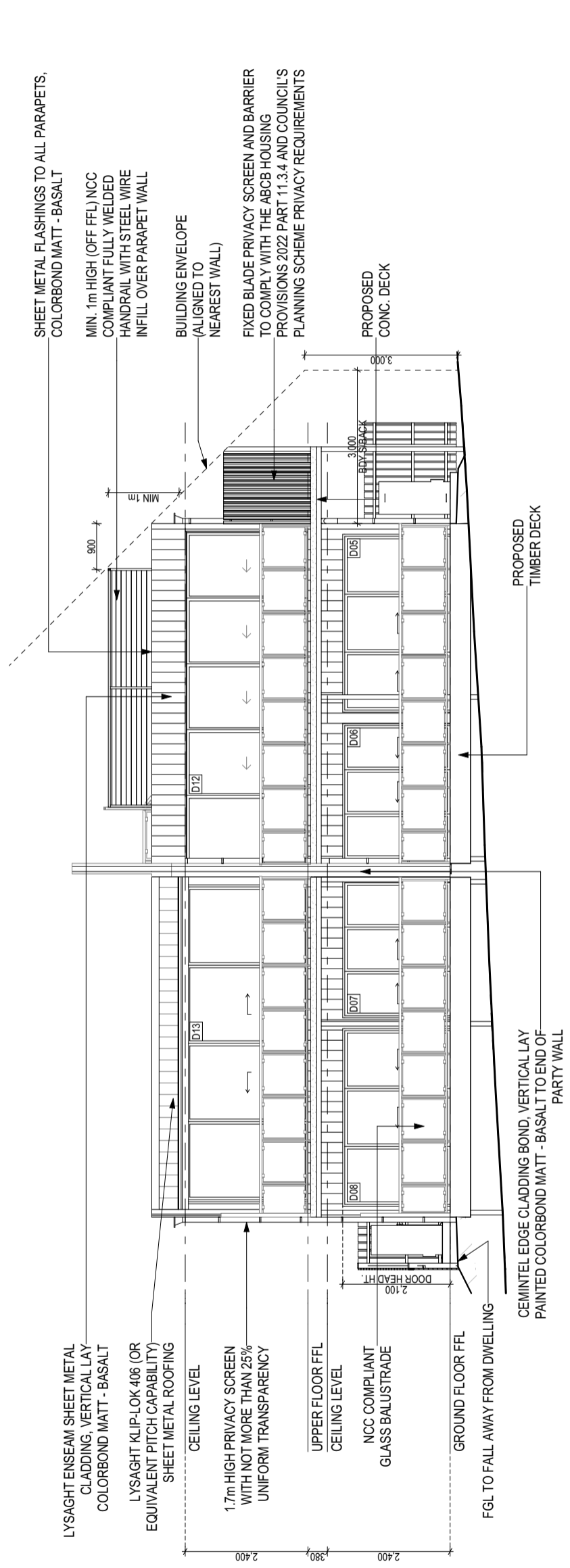
WINDOWS IN ROOMS OTHER THAN A BEDROOM 4m OR MORE ABOVE THE SURFACE BENEATH ARE TO BE SECURED AS REQUIRED BY PART 11.3.7 OF THE ABCB HOUSING PROVISIONS 2022.



E-01

FRONT (WEST) ELEVATION

1:100



E-02

REAR (EAST) ELEVATION

1:100

NOTE: NOMINATED EARTHWORKS DO NOT TAKE DRIVEWAY CONSTRUCTION INTO ACCOUNT

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ELEVATIONS

PROPOSED DUPLEX UNITS

LEO GIAKIS

DEVELOPMENT APPLICATION

22 CHURINGA WATERS DVE, OLD BEACH, TAS 7017

CT: 182141 LOT: 1 & 2

REV	AMENDMENTS	DATE	SHEET	DRW
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LAYOUT REV: 5
JOB No: 072
SCALES(s) @ A3: 1:100
SHEET No: A-10
No. OF SHEETS: 27

ALL LAYOUTS ARE TO BE PRINTED IN COLOUR

GLASS TYPE LEGEND

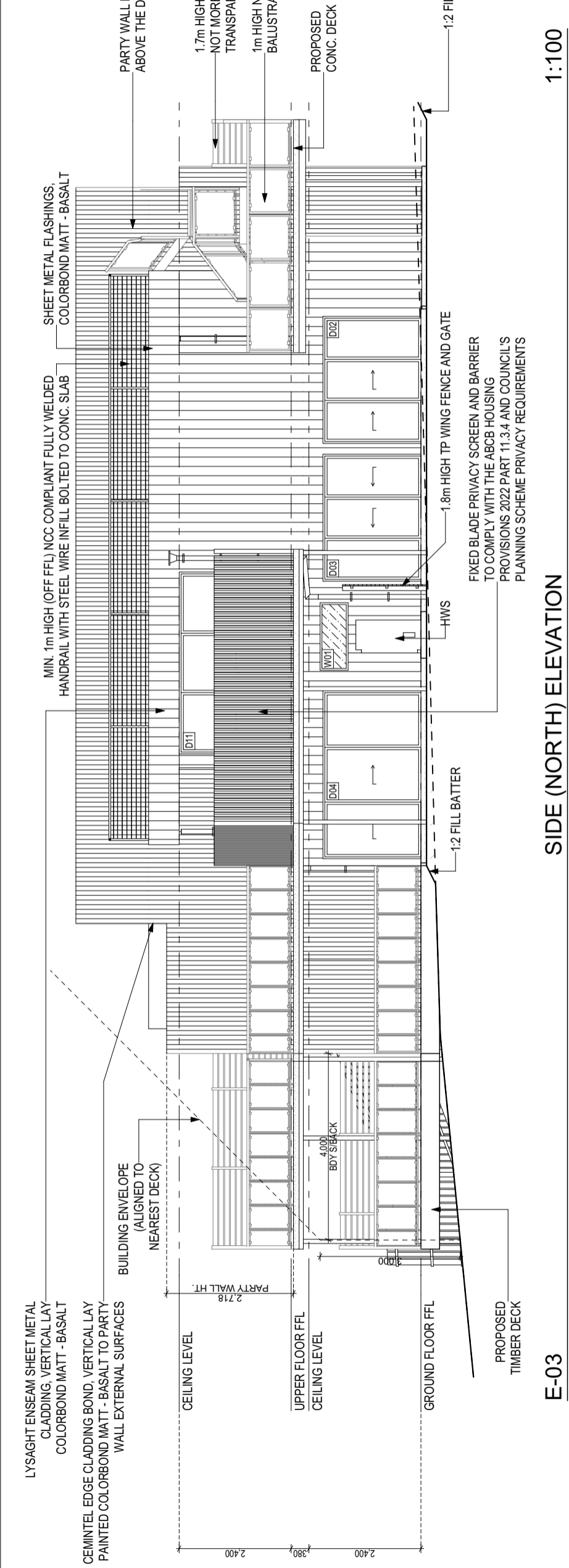
	CLEAR
	OBSCURE
	ACOUSTIC
	LOW-E
	TONED

WINDOW TYPE LEGEND

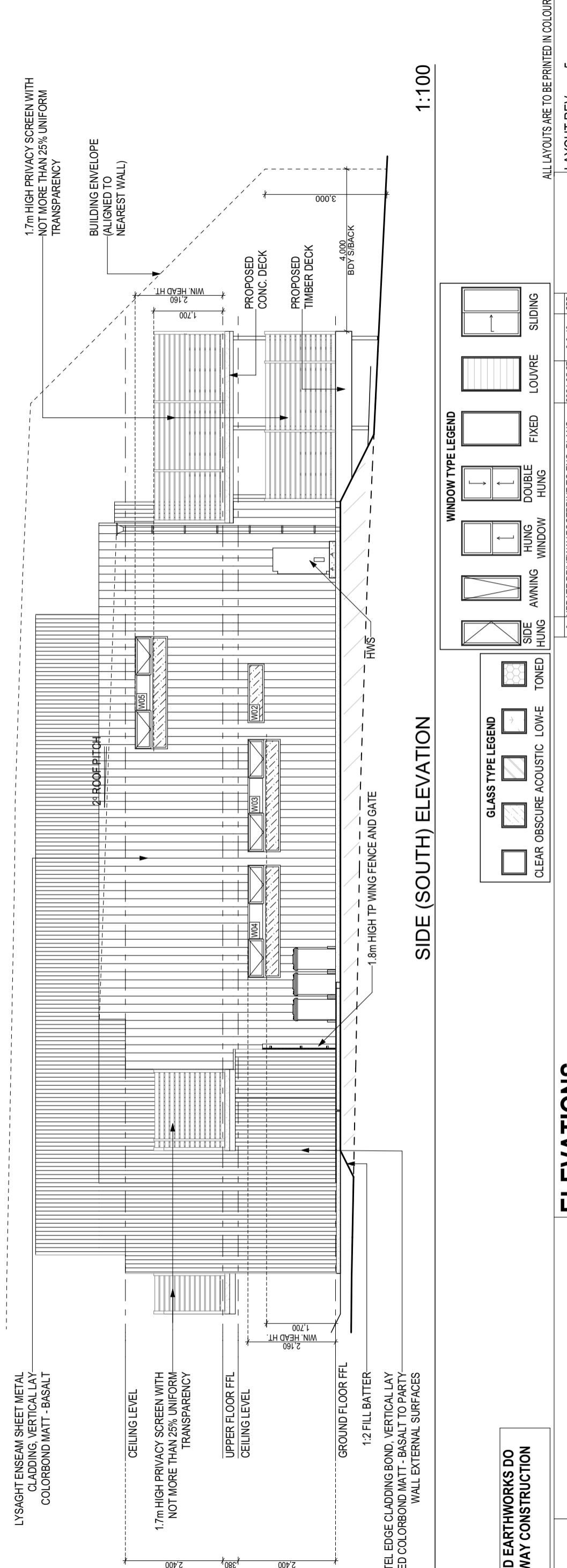
	SIDE HUNG WINDOW
	AWNING WINDOW
	HUNG WINDOW
	DOUBLE HUNG WINDOW
	FIXED WINDOW
	LOUVRE WINDOW
	SLIDING WINDOW

BEDROOM WINDOWS 2m OR MORE ABOVE THE SURFACE BENEATH ARE TO BE SECURED AS REQUIRED BY PART 11.3.7 OF THE ABCB HOUSING PROVISIONS 2022.

WINDOWS IN ROOMS OTHER THAN A BEDROOM 4m OR MORE ABOVE THE SURFACE BENEATH ARE TO BE SECURED AS REQUIRED BY PART 11.3.7 OF THE ABCB HOUSING PROVISIONS 2022.



SIDE (NORTH) ELEVATION
1:100



SIDE (SOUTH) ELEVATION
1:100

GLASS TYPE LEGEND

	CLEAR
	OBSCURE
	ACOUSTIC
	LOW-E
	TONED

WINDOW TYPE LEGEND

	SIDE HUNG
	AWNING
	HUNG WINDOW
	DOUBLE HUNG
	FIXED
	LOUVRE
	SLIDING

NOTE: NOMINATED EARTHWORKS DO NOT TAKE DRIVEWAY CONSTRUCTION INTO ACCOUNT

PH: 0417858537
E: chrispooley0@gmail.com

PDS
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LEO GIAKIS

PROPOSED DUPLEX UNITS

DEVELOPMENT APPLICATION

22 CHURINGA WATERS DVE, OLD BEACH, TAS 7017
CT: 182141 LOT: 1 & 2

AMENDMENTS

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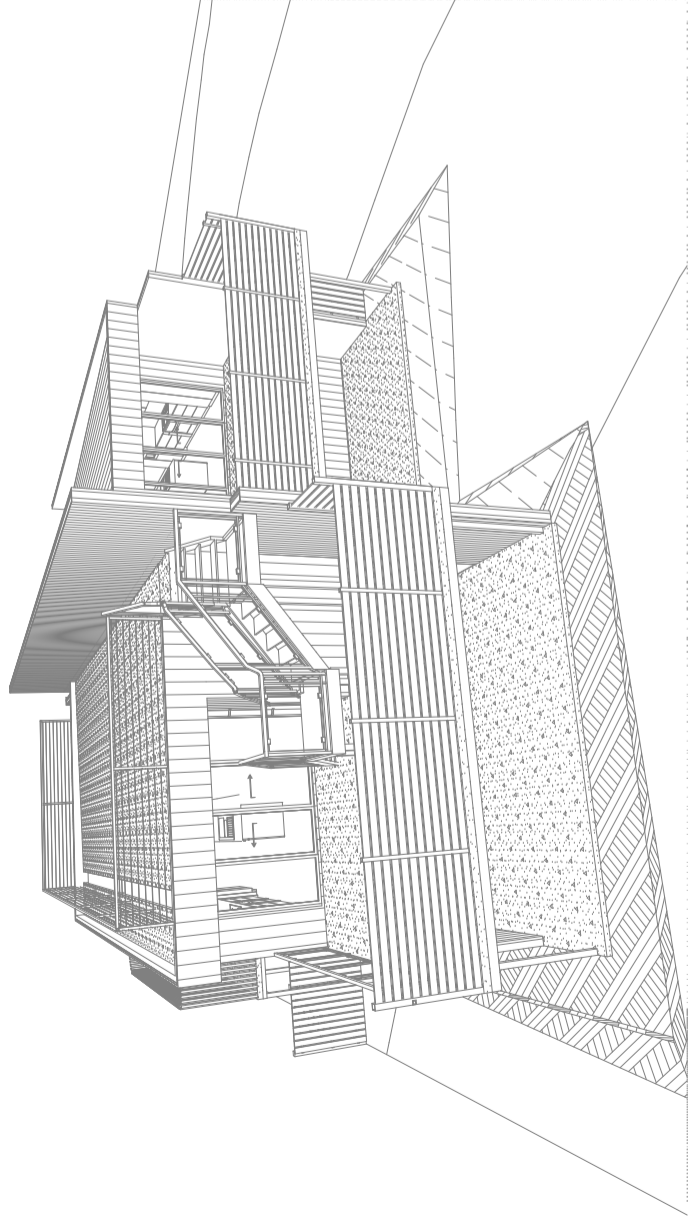
ELEVATIONS

LAYOUT REV: 5
JOB NO: 072
SCALES(s) @ A3: 1:100
SHEET No: A-11
No. OF SHEETS: 27

ALL LAYOUTS ARE TO BE PRINTED IN COLOUR

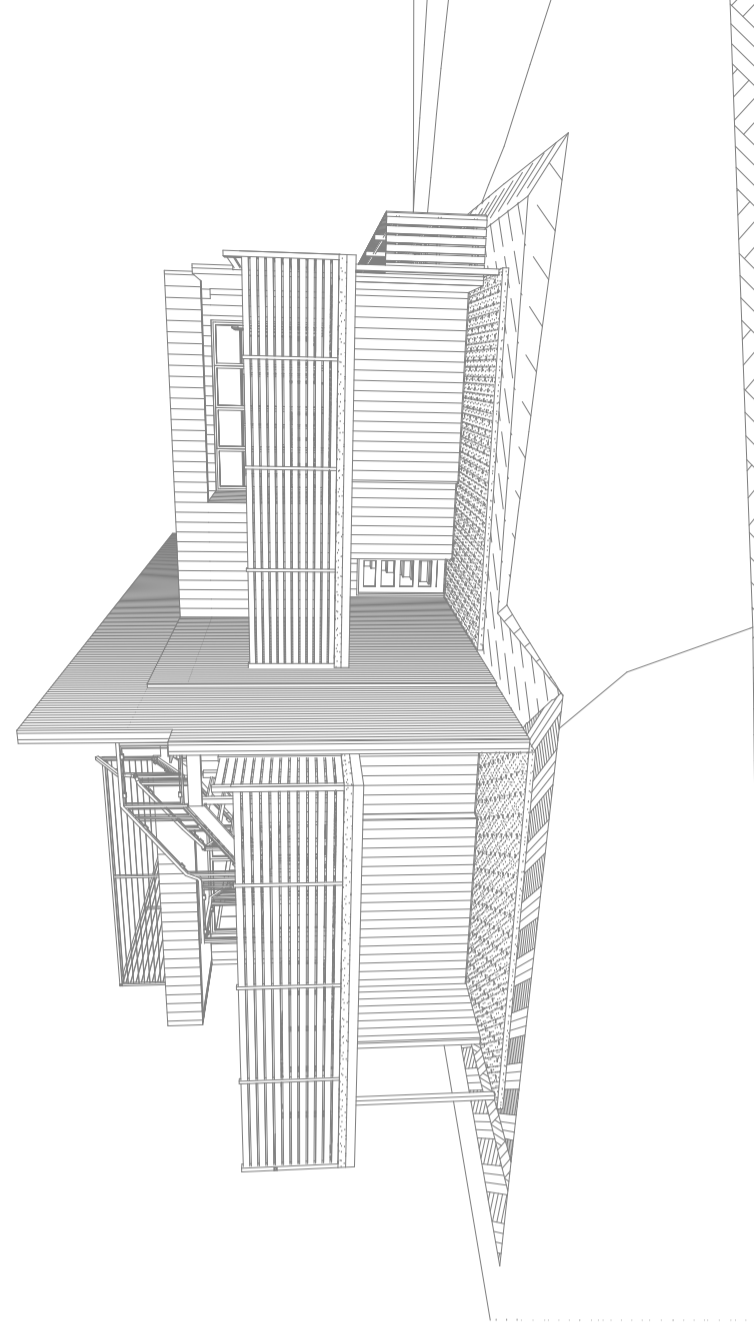
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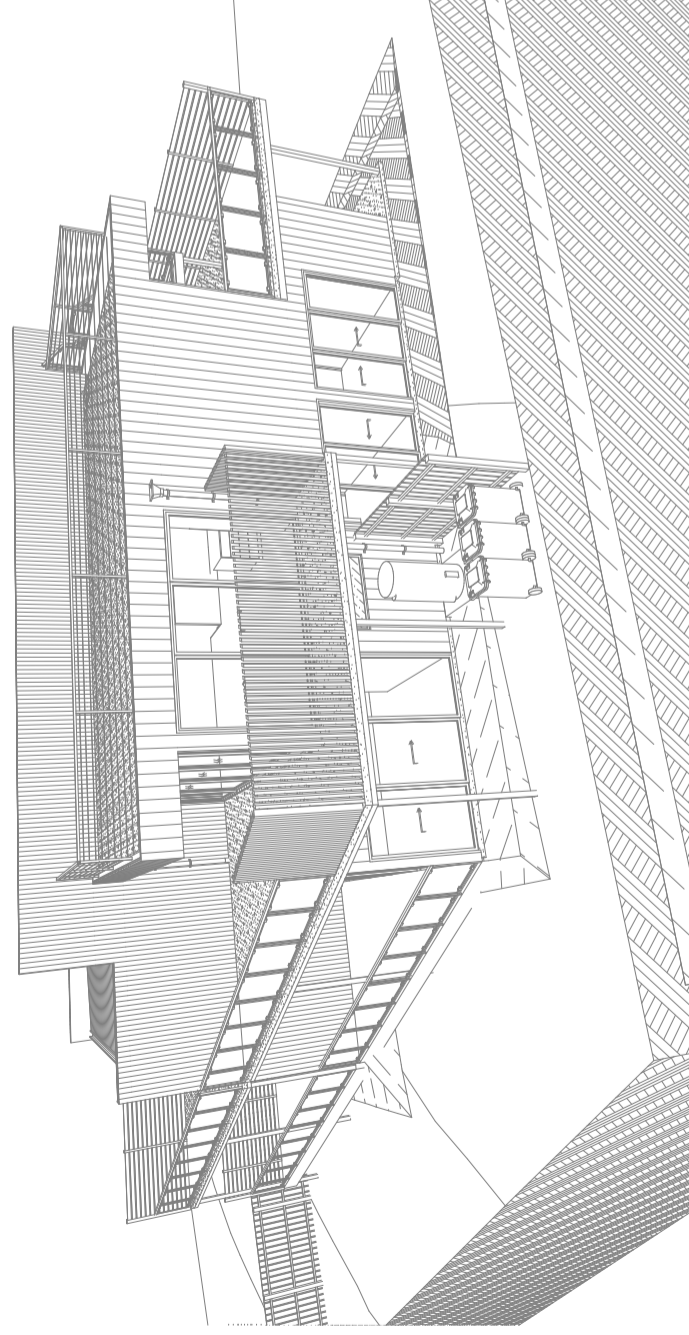
FRONT PERSPECTIVE 1

1:300



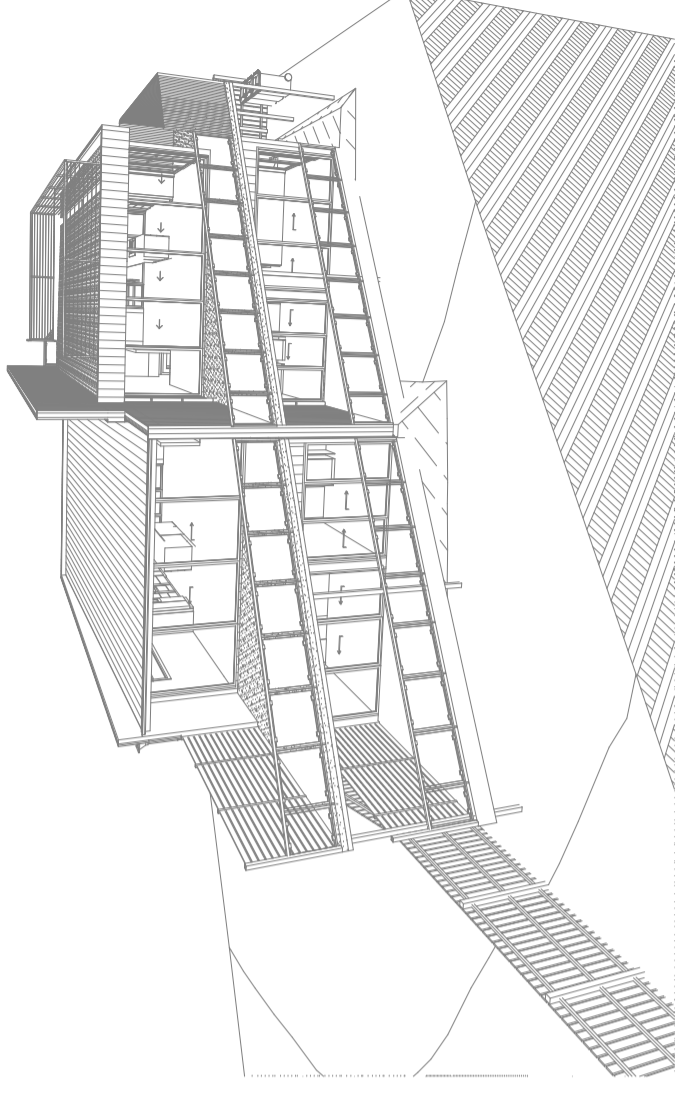
FRONT PERSPECTIVE 2

1:300



SIDE PERSPECTIVE 1

1:300



REAR PERSPECTIVE 1

1:300

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PH: 0417858537
E: chrispooley0@gmail.com
BUILDING DESIGNER

BUILDING BEING CONSTRUCTED IN A BAL-NA AREA
(RESTRICTIONS TO OR ADDITIONAL CONSTRUCTION METHODS/MATERIALS MAY APPLY - REFER TO NOTES)

3D PERSPECTIVE VIEWS

PROPOSED DUPLEX UNITS

LEO GIAKIS

DEVELOPMENT APPLICATION

22 CHURINGA WATERS DVE, OLD BEACH, TAS 7017
CT: 182141 LOT: 1 & 2

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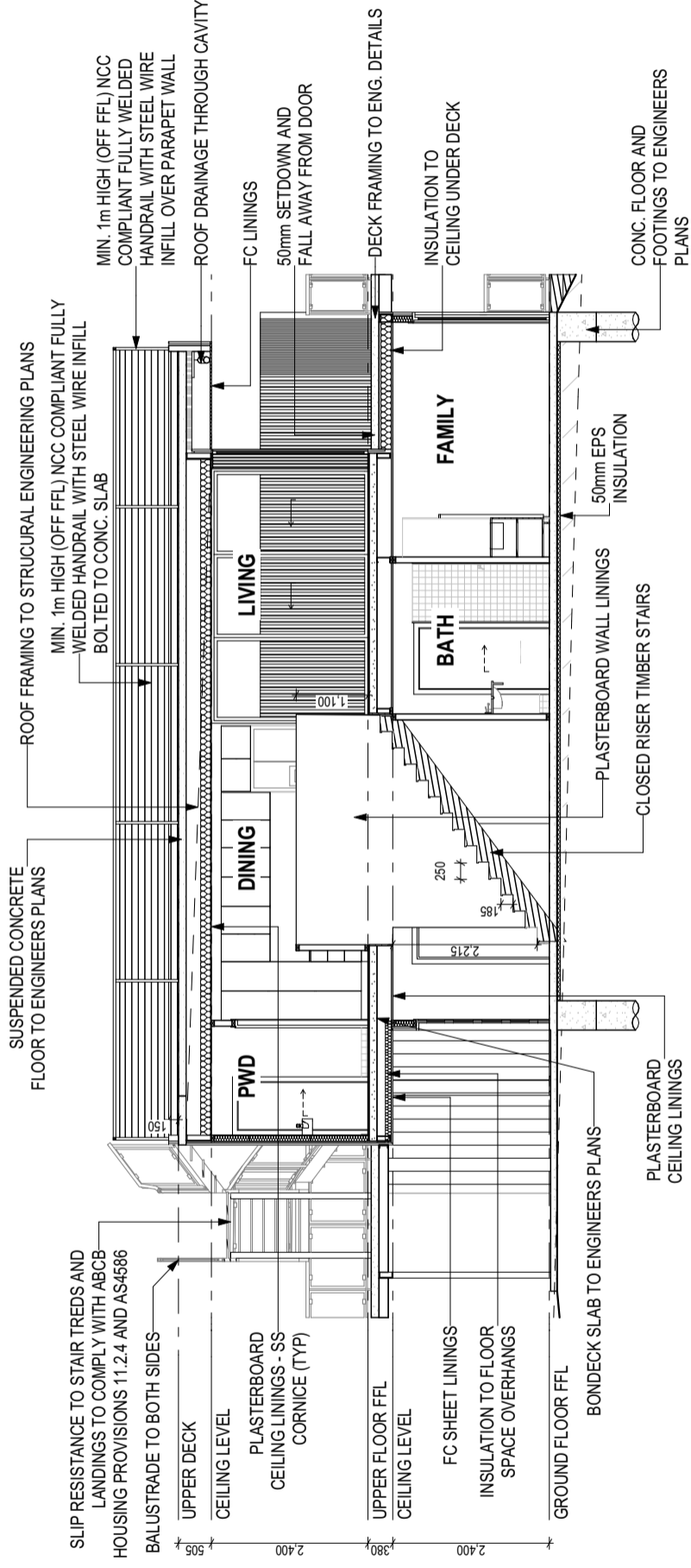
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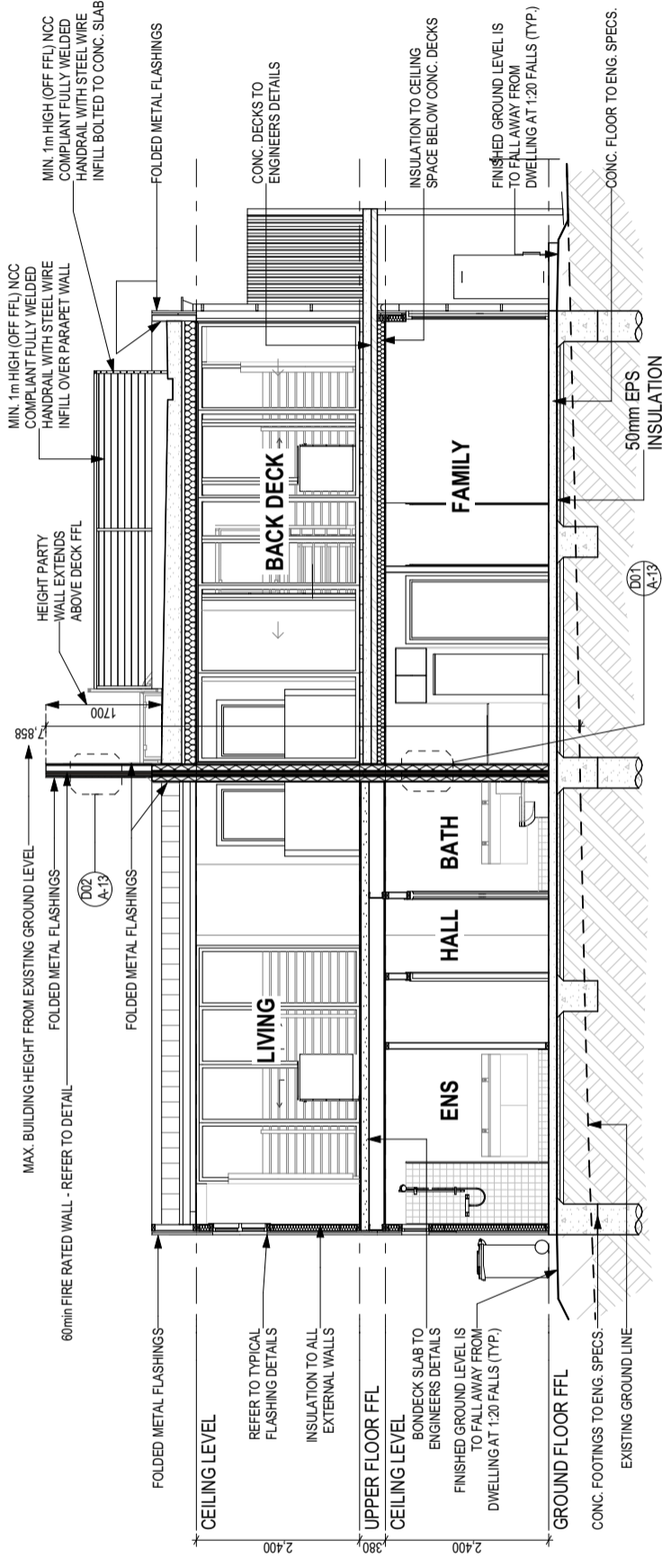
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SHEET No: A-12

No. OF SHEETS: 27



SECTION A-A
1:100



SECTION B-B
1:100

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BUILDING BEING CONSTRUCTED IN A BAL-NA AREA
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SECTIONS

PROPOSED DUPLEX UNITS

LEO GIAKIS

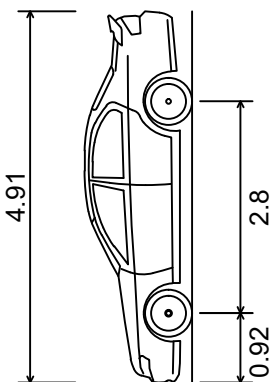
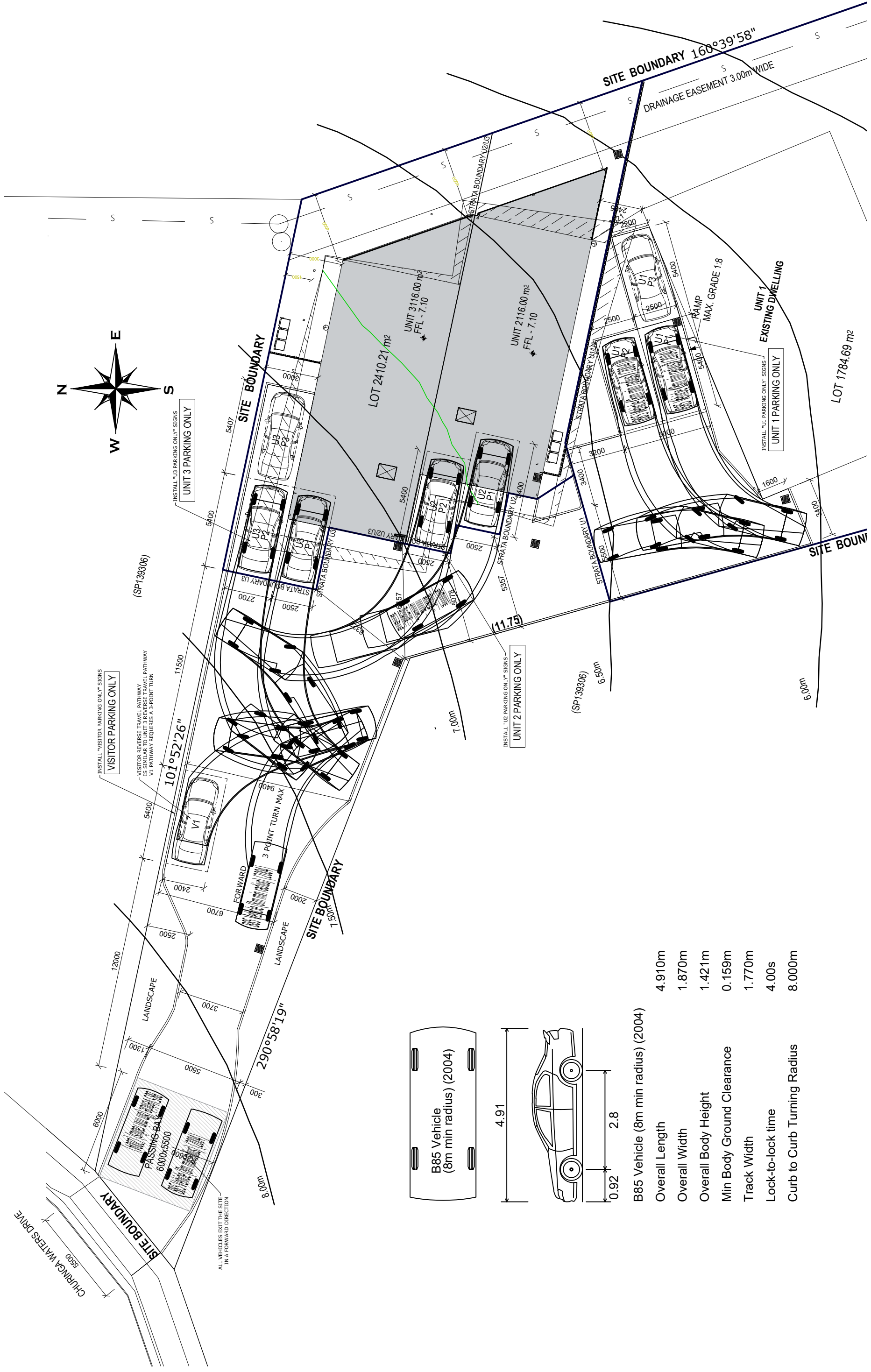
DEVELOPMENT APPLICATION

22 CHURINGA WATERS DVE, OLD BEACH, TAS 7017
CT: 182141 LOT: 1 & 2

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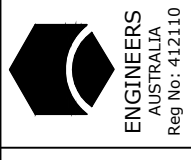
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LAYOUT REV: 5
JOB No: 072
SCALES(s) @ A3: 1:100
SHEET No: A-13
No. OF SHEETS: 27



Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	8.000m

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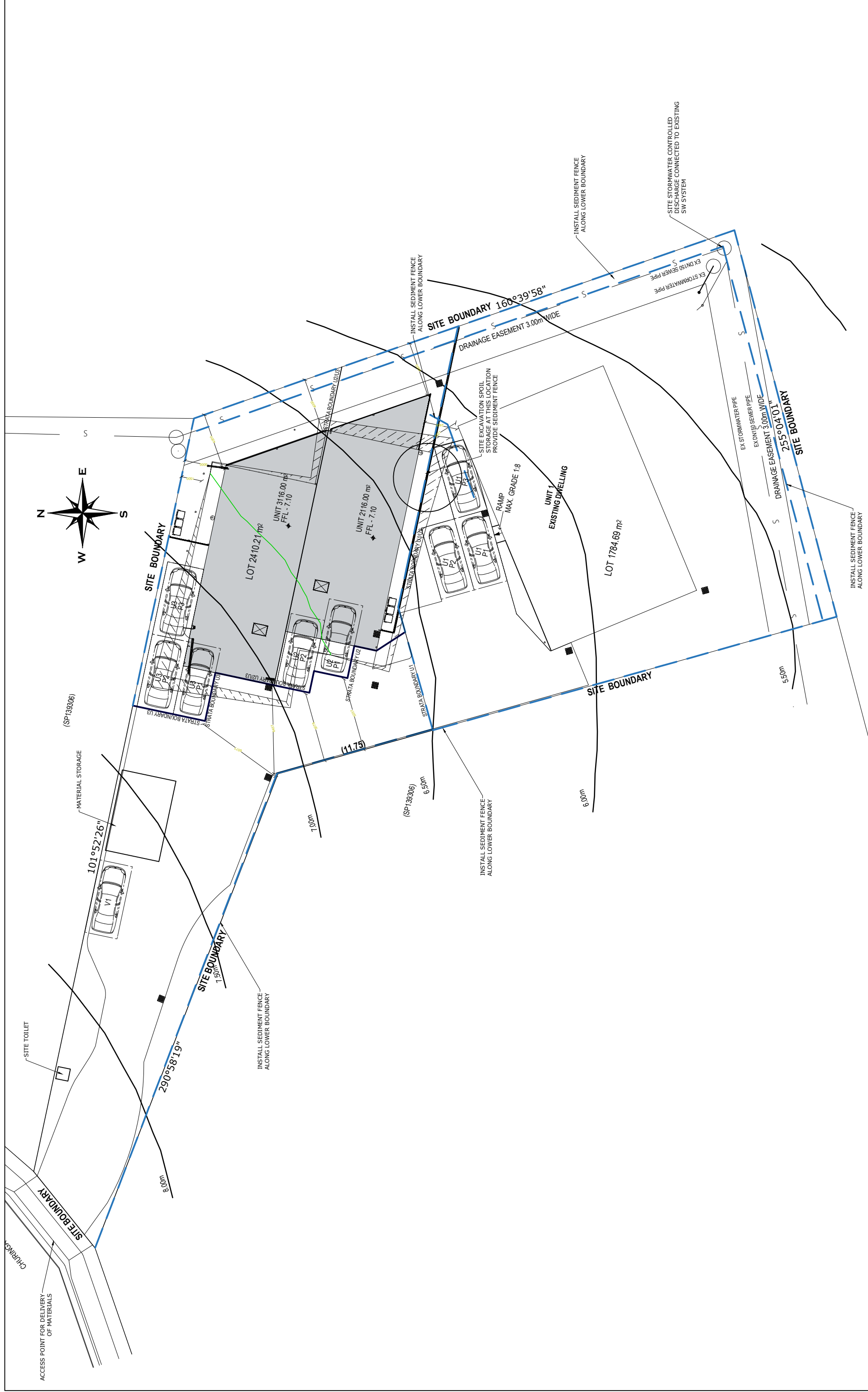
Building Practitioners Board
 Tasmania Reg: CC18221
Mr George Severini
 MIE Aust CPEng (Civil/Structural)

Signature: Date: 21/05/2024

AssetSAFE
 AHS Developments Pty Ltd
 ABN: 47 111 958 608
 GPO Box 1855
 Hobart Tas, 7001
 M: 0413 272 057
 E: gseverini@assetsafe.com.au
 W: assetsafe.com.au

Client:	LEO GIAKIS
Project:	22 CHURINGA WATERS DRIVE, OLD BEACH
Title:	VEHICLE TURNING
Scale:	1:200
Drawn:	G. Severini
Designed:	G. Severini
Checked:	G. Severini
Date:	21.05.2024
Job No:	24022
Checked:	G. Severini
Date:	21.05.2024
Rev:	3
Drawing:	C04

Date	Rev.	Description	By
21-05-24	3	COUNCIL RFI DA 2024/00081 Dated 16th May 2024	GS
24-04-24	2	TASWATER RFI DA 2020/323-AM1 SEWER CONNECTION REVISED	GS
07-03-24	1	Issued for Construction	GS



Client: LEO GIAKIS
 Project: 22 CHURINGA WATERS DRIVE, OLD BEACH
 Title: SWMP PLAN
 Scale: 1:250

AssetSAFE
 AHS Developments Pty Ltd
 ABN: 47 111 958 608
 GPO Box 1855
 Hobart Tas, 7001
 M: 0413 272 057
 E: gseverini@assetsafe.com.au
 W: assetsafe.com.au

Building Practitioners Board
 Tasmania Reg: CC1822J
Mr George Severini
 MIE Aust CP/Eng (Civil/Structural)

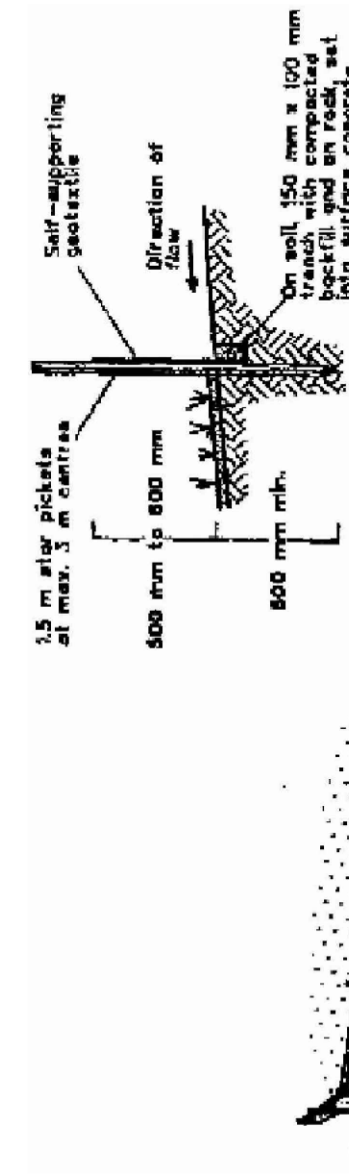
ENGINEERS AUSTRALIA
 Reg No: 412110

Signature: Date: 21/05/2024

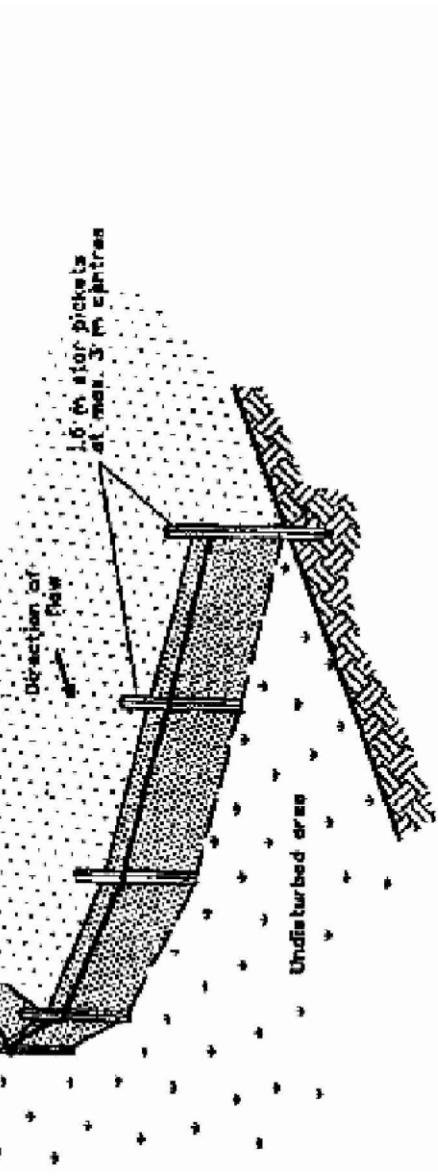
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Date	Rev.	Description	By
21-05-24	3	COUNCIL RFI DA 2024/00081 Dated 16th May 2024	GS
24-04-24	2	TASWATER RFI DA 2020/323-AM1 SEWER CONNECTION REVISED	GS
07-03-24	1	Issued for Construction	GS

Drawn: G. Severini
 Designed: G. Severini
 Job No: 24022
 Checked: G. Severini
 Checked: G. Severini
 Date: 21.05.2024
 Date: 21.05.2024
 Rev: 3



SECTION DETAIL

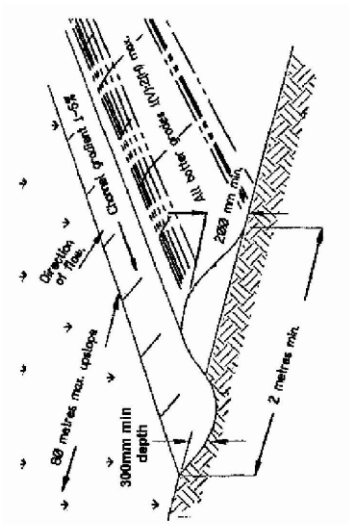


PLAN

Construction Notes

1. Construct sediment fence as close as possible to parallel to the contours of the site.
2. Drive 1.5 metre long star pickets into ground, 3 metres apart.
3. Dig a 150 mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
4. Backfill trench over base of fabric.
5. Fix self-supporting geotextile to upslope side of posts with wire ties or as recommended by geotextile manufacturer.
6. Join sections of fabric at a support post with a 150 mm overlap.

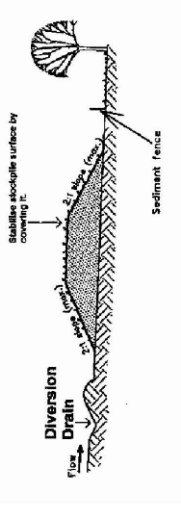
SD 8 - SEDIMENT FENCE



Construction Notes

1. Construct along gradient as specified.
2. Maximum spacing between banks shall be 80 metres.
3. Banks to be of parabolic or trapezoidal cross section not V-shaped.
4. Earth banks to be adequately compacted in order to prevent failure.
5. Construction is of a temporary nature and shall be completed at the end of a day's work or immediately prior to rain.
6. All outlets from disturbed lands are to lead into a sediment basin or similar.
7. Discharge runoff collected from undisturbed lands side either a stabilized or an undisturbed disposal site within the same subcatchment area from which the water originated.
8. Construct with a suitable implement in situations where they are required to function for more than five days.
9. Earth banks to be free of projections or other irregularities that will impede normal flow.

SD 1 - Diversion of Upslope Water - CatchDrains



Construction Notes

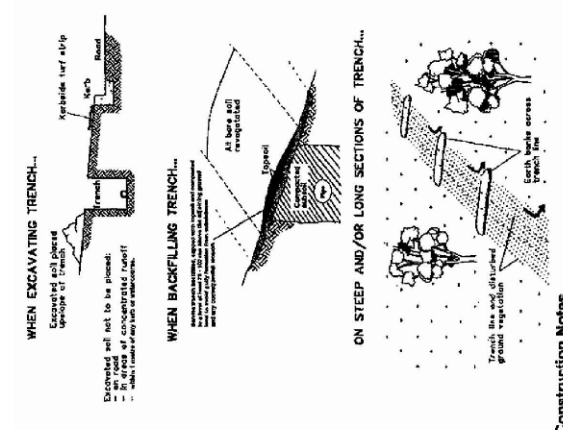
1. Construct a diversion drain on upslope side of stockpiles to divert water around stockpile and install a sediment fence 1-2 metres down slope of stockpile.
2. Locate stockpile at least 5 metres from existing bushland, concentrated water flows roads and other hazard areas.
3. Construct stockpile on the contour as a low, flat, elongated mound.
4. Where there is sufficient space, topsoil stockpiles shall be less than 2 metres high.
5. Rehabilitate in accordance with the SWMP.

SD 9 - Stabilising Stockpiles

REFERENCED SWMP DRAWINGS

SWMP CONSTRUCTION DETAILS CAN BE OBTAINED FROM "GUIDELINES FOR SOIL AND WATER MANAGEMENT" BY THE DEPARTMENT OF PRIMARY INDUSTRIES WATER AND ENVIRONMENT - JUNE 1999 ENDORSED BY BRIGHTON, CLARENCE, GLENORCHY, HOBART AND KINGBOROUGH CITY AND MUNICIPAL COUNCILS.

IT IS THE DEVELOPERS/CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UNDERGROUND SERVICES, INCLUDING BUT NOT LIMITED TO; GAS, WATER, SEWER, STORM WATER, ELECTRICITY, TELECOMMUNICATIONS



Construction Notes

1. Do not open any trench unless it is ready to be closed in three days.
2. Place excavated material upslope of trench.
3. Stockpile topsoil separately from subsoil.
4. Divert runoff from the line of the cut
5. Rehabilitate in accordance with specification.

SD 3 - Service Installation

REVEGETATION & LONG TERM EROSION CONTROLS:

- ONLY REMOVE VEGETATION AS REQUIRED DURING CONSTRUCTION.
- TREAT HEAVILY CLAYED SOILS WITH GYPSUM OR LIME AT A RATE OF 10t/ha TO STABILISE CLAY PARTICLES.
- TEMPORARY STABILISATION CAN BE GAINED BY SOWING RYECORN/OATS AT 40kg/ha AND RYEGRASS CONCORDE AT 10kg/ha OR SIMILAR FAST ROOTING GRASSES/CROPS (WITH ADVICE FROM AGRONOMIST) TO HOLD TOGETHER TOP SOIL.
- PERMANENT GROUND STABILISATION CAN BE ACHIEVED USING TURF OR OTHER GRASS MIXES OF FINE LEAF RYES, FESCUSES, POA, CLOVERS, ETC. GARDEN AREAS TO BE MULCHED WITH WATER EFFICIENT PLANTINGS THAT HAVE QUICK ESTABLISHMENT TIMES TO BE USED IN INITIAL GARDEN BEDS.

SWMP NOTES:

- SOLID WASTE MATERIAL TO BE STORED AND REMOVED FROM SITE REGULARLY.
- REMOVABLE WC TO BE INSTALLED ON SITE DURING CONSTRUCTION UP TO THE POINT WHERE MAIN SEWER LINE IS CONNECTED.
- STOCK PILES TO BE STABILISED AS SHOWN ON DETAIL SD9.
- VEHICLES/MACHINERY ACCESSING THE SITE TO USE HARDENED ACCESS POINT AND TO BE THOROUGHLY WASHED (HIGH PRESSURE) TO REMOVE SOIL AND PLANT MATERIAL BEFORE LEAVING SITE.
- REMOVE ANY SOIL, CONCRETE, PAINT OR OTHER POTENTIAL POLLUTANTS FROM ANY AREA NOT WITHIN THE SITE BOUNDARY, TO MINIMISE POLLUTION THROUGH RUN OFF IN THE RETICULATED STORMWATER SYSTEM.
- RETIKULATED WATER MAINS AND ELECTRICAL CONNECTION TRENCHED TOGETHER.
- NOTES AS PER SEWER AND STORMWATER TRENCHING ABOVE.
- WATER DIVERSION BARRIER (DIVERSION OF UPSLOPE WATER) CONSTRUCTED FROM SAND OR GRAVEL FILLED BAGS IN ACCORDANCE WITH DRAWING SD1.
- SILT TRAP/STORM WATER PIT PROVIDE FILTRATION BARRIER AS PER DETAIL SD10.
- WHERE TUNNEL EROSION IS A EVIDENT THE TUNNELED AREA MUST BE COMPLETELY BROKEN UP AND RECONSOLIDATED TO INTERRUPT CHANNELLED FLOWS OF WATER AND THEN STABILISED WITH VEGETATION. DEEP RIP ACROSS THE SLOPE MAKING SURE THAT THESE RIP LINES ARE DEEPER THAN THE BOTTOM OF THE TUNNELS. COMPACT USING RUBBER WHEELED TRACTOR ON AREAS OF SHALLOW TUNNELING. TUNNELS DEEPER THAN THE RIPPERS ARE BEST EXCAVATED AND REPAKED.

Date	Rev.	Description
21-05-24	3	COUNCIL RFI DA 2024/00081 Dated 16th May 2024
24-04-24	2	TASWATER RFI DA 2020/323-AM1 SEWER CONNECTION REVISED
07-03-24	1	Issued for Construction
		By

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ENGINEERS AUSTRALIA
Reg No: 412110

Mr George Severini
MIE Aust CP(Eng) (Civil/Structural)

Signature.....Date: 21/05/2024

AssetSAFE
AHS Developments Pty Ltd
ABN: 47 111 958 608
GPO Box 1855
Hobart Tas, 7001
M: 0413 272 057
E: gseverini@assetsafe.com.au
W: assetsafe.com.au

Client: LEO GIAKIS
Project: 22 CHURINGA WATERS DRIVE, OLD BEACH
Title: SWMP DETAIL
Scale: NTS

Drawn : G. Severini
Designed : G. Severini
Checked : G. Severini
Date : 21.05.2024

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